



GOKUL KRIPA

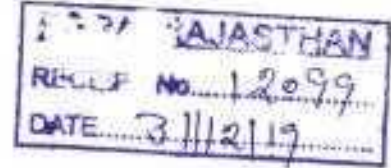
COLONIZERS & DEVELOPERS PVT. LTD.

Reg. Office : 702-703, Okay Plus Square, Patel Marg, Madhyam Marg, Mansarovar, Jaipur-302020 (Raj.)
Email : gokulkripa@gmail.com Website : www.gokulkripa.com

Ref. No.

Date

To,
Registrar Sir,
Rajasthan Real Estate Regulatory Authority,
2nd & 3rd Floor, RSIC Building, Udyog Bhavan,
Tilak Marg, C-Scheme, Jaipur-302005



Sub: For Submission of Completion Certificate our Project "**Gokul Prangan -1**" registered in RERA vide Reg. No. **RAJ/P/2019/920** situated at Jaipur.

Dear Sir,

With Reference to above subject our Project "**Gokul Prangan -1**" registered in RERA vide Reg. No. **RAJ/P/2019/920** we are submitting completion certificate of Residential project "**Gokul Prangan -1**".

Thanks & Regards

For Gokul Kripa Colonizers & Developers Pvt. Ltd.

For Gokul Kripa Colonizers & Developers Pvt. Ltd.

Director

Rajesh Kumar
Director

Place: Jaipur
Date: 26-12-19

Enclosed : Completion Certificate

DRP 2
01/01/2020
03/01/2020
D-A (GAIN S/N)

Ref No. 31/Completion Certificate/2019-20

COMPLETION CERTIFICATE
of Development Works in
"GOKUL PRANGAN-1" RESIDENTIAL
SCHEME

at Village Bindayaka, Khasra No. 595/1, 596/1, 594/2,
593/3, Tehsil Jaipur, District Jaipur

Developer & Promoter Name: - M/s Gokul Kripa Colonizers And Developers
Private Limited.



E.R. MAHENDRA SINGHAL
Email Id:- singhal.mahendra@gmail.com
Phone No. 9414065623

Contents

1. Introduction/	3
2. Township Policy 2010:	3
3. Development Work:	6
4. Layout plan of scheme:	8
5. Satellite Image:	8
6. Annexure:	10
6.1 Images of development works on site at Gokul Prangan-1, Residential Scheme	10
6.2 Completion Certificate:	12
6.3 Circulars	14

Introduction

'Gokul Prangan-1' is a Residential scheme located At Village Bindayaka, Tehsil Jaipur, District Jaipur, Rajasthan. It falls in Zone 12 of JDA Planning Zone. The scheme is proposed over a land of 18335.25 Sqm. The area distribution of the land use of the scheme is as follow:

The area analysis of the scheme is as follows:

S. No.	Use	Area (Sqm.)	Percentage (%)
1	Residential	10861.03	58.16%
2	Retail Commercial	340.10	1.55%
3	Park/Green	974.15	05.31%
4	Facility	287.57	1.57%
5	Road	4861.40	26.61%
4	Road	1211.00	6.80%
SUB TOTAL		18335.25	100.00%

Township Policy 2010:

The scheme is categorized as Industrial Township which is envisaged under the Rajasthan Township Policy, 2010. The guidelines for approval / completion of internal development works as per the policy are as follow:

- In order to ensure quality development certain norms as mentioned below are being laid down. It is necessary that the developer should submit along with application for approval the following details:
 - (i) Layout plan showing details of area to be utilized under plots, built up space, roads, open space for park, garden and play ground and other public utility and amenities, services and facilities.
 - (ii) Details of nearby development (at least in the vicinity of 100 meters) along with its superimposition on sector plan.
 - (iii) Details of internal development works as per specifications mentioned below
 - (iv) Details of eco friendly amenities provided;
 - (v) Plan showing HFL of major lakes, water body, if any
- In Residential Schemes and other schemes internal development works such as Construction of roads, Laying of power line and Street lighting, Laying of Water lines, Development of Water Sources (Tube well), Ducting for road crossing, Construction and development of Parks and services area, Plantation along roads sides and parks shall be done by the developer only.
- Work for laying of sewer line, storm water drainage, overhead Water tanks shall be done by ULB at a combined level of various adjoining schemes for which necessary charges shall be paid by developer to the ULB as per details below:

- (i) Lying of sewer lines - Rs.50/- Per Sq m. of total area.
- (ii) Storm water drains - Rs. 40/- Per Sq m. of total area.
- (iii) Construction of Over head tanks (optional for ULB) - Rs. 50/- Per Sqm. of total area

Note:

- I. The above amount is an average amount. However ULB may increase the charges of above items based on actual cost of the work. The above amount shall be deposited along with EDC at the time of issue of Patta.
- II. For ensuring internal development of the area, Patta / lease deed (Sale permission) of 12.5% of the saleable plots will be withheld by the ULB.
- III. In case of plot for group housing of size more than 2 hectares, 5% area of plot (an independent plot with proper approach) shall be surrendered to the ULB for facilities. For plot size less than 5 acres, amount equivalent to 5% of the area calculated at residential reserve price of that area shall be deposited with ULB.
- IV. In case of single Patta for Group Housing land for sector commercial shall not be surrendered to ULB.

• **Construction of Roads**

- (i) All the internal road networks including draft sector plan / master plan roads within the scheme are to be developed by the developer. The sector roads are to be accommodated.
- (ii) The internal roads should be minimum 9 meters wide where the length of the road is up to 100 meters and 12 meters wide where road length is more than 100 meters.
- (iii) However, as far as possible no row of plots should be more than 200 mtrs in length accept the sector plan / zonal plan / main arterial roads having width 18 M & above.

The technical specifications for road construction shall be as follows:

S.No.	Row	Paved width	Berms with (both side)
1.	9meter	5.5 meter	1.5 meter
2.	12meter	5.5 meter	2.5 meter
3.	18meter	5.5 meter (2 lane)	2.5 meter
4.	24meter and above	2 lane each 7.5 meters with divider	2.5 meter

- a) Level and the specifications shall be finalized by the ULB keeping the specifications laid down by IRC.
- b) Gradient shall be as per Indian Road Congress / CRRI.
- c) 1st layer WBM - 90 - 45mm size (100mm compacted)
- d) 2nd layer WBM - 63 - 45mm size (75mm compacted)
- e) 3rd layer (crusher broken) WBM - 53-22.4mm (75mm compacted)
- f) 20mm PMC with seal coat

- **Power Supply and Street Lighting**

- a) The development of electrification, power network and power load requirement in any scheme shall be in accordance with the norms, rules & regulations of State electricity agency. After the completion of the electrification work, the developer shall handover the complete system to the concerned electricity distribution company.
- b) **Street Lights** – All the roads having above 18 meters width shall have divider as well as the street poles fixed on the divider having the provisions of underground cabling. Other roads will have streetlights on electric poles or single light poles erected on either side of the road. The distance between poles should not be more than 30 meters. The illumination levels of the roads shall be as per the standard of local electricity authority / National Building Code. After the completion of the street light work, the developer shall handover the complete system to the ULB / Maintenance Agency.

- **Water Supply**

All the water lines should be underground having a provision of providing connections to the plot. The sizes of water pipe should be per PHED norms. The scheme should have underground water tank as well as over head water tank as per PHED norms. The complete water supply shall be in accordance with the technical guidelines of the PHED.

After the completion of the water supply scheme, the developer may hand over the laid distribution and storage system to the PHED/ULB/private operator.

- **Sewerage & Drainage**

All the plots in the scheme should be well connected with the underground sewerage line with proper slope; the sewerage line should normally be located close to the boundary wall of the plots (within about 10 ft.) with a provision for connection of plots.

- **Horticulture & Plantation**

All roads should have plantation tree guards on both sides having minimum of 30 trees per acre of the gross area. Trees of 5 feet or more height should be planted. All the parks should be developed by the developer and maintained by the developer till the scheme is completed and handed over to ULB or to the Resident Welfare Society.

- **Rain water Harvesting and Water recycling**

Community rain water harvesting structures shall be constructed by developers. Similarly water recycling shall be provided as per Building Regulations and water from all water outlets and drainages should be collected for recycling for gardening, washing etc. by the ULB.

Development Work: Gokul Prangan-1

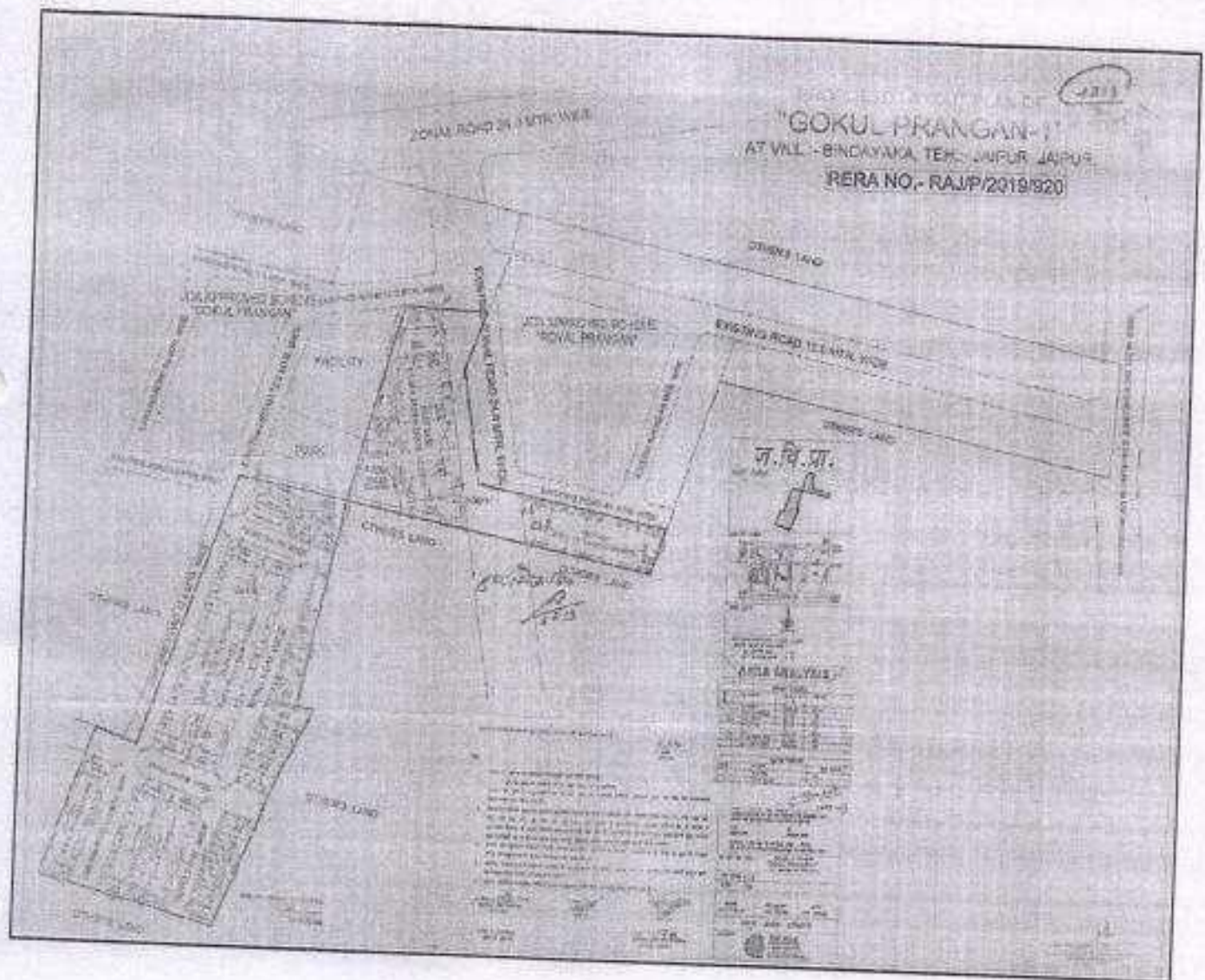
Sl. No.	Heading	As per New Township Policy, 2010	Status	% Of Work Done
1	WBM Roads (1 st & 2 nd layer)	Roads are to be constructed by the developer.	2 Layers complete	100%
	BT/CC Roads (3rd layer WBM & BT/CC layer)	Roads are to be constructed by the developer.	3 Layers Complete	100%
2	Sewer Line	Laying of sewer line shall be done by ULB for which necessary charges shall be paid by the developer. Sewerage line is prescribed to be located close to the boundary wall of plots (within 10 ft.)	Completed Sewer lines laid out by the Developer in the entire scheme	100%
3	Water supply First phase	Construction of tube wells and lying of water pipelines.	Complete	100%
	Water supply Second phase	Construction of over head tank and underground storage tank.	Complete	100%
4	Electrification	Laying of power line and Street lighting shall be done by the developers.	Complete	100%
5	Drainage & Water harvesting	Storm Water drainage shall be constructed by the ULB for which necessary charges shall be paid by the developer & Rain water harvesting structures to accommodate collection of water for recycling and gardening, washing etc.	Complete	100%
6	Parks	To be taken up by the developers.	Complete	100%
7	Street light	Electric poles should be provided on the divider of 18m. Wide road. Prescribed spacing between poles of 30m to be maintained. Internal roads to have street lights on either side of roads.	Complete	100%



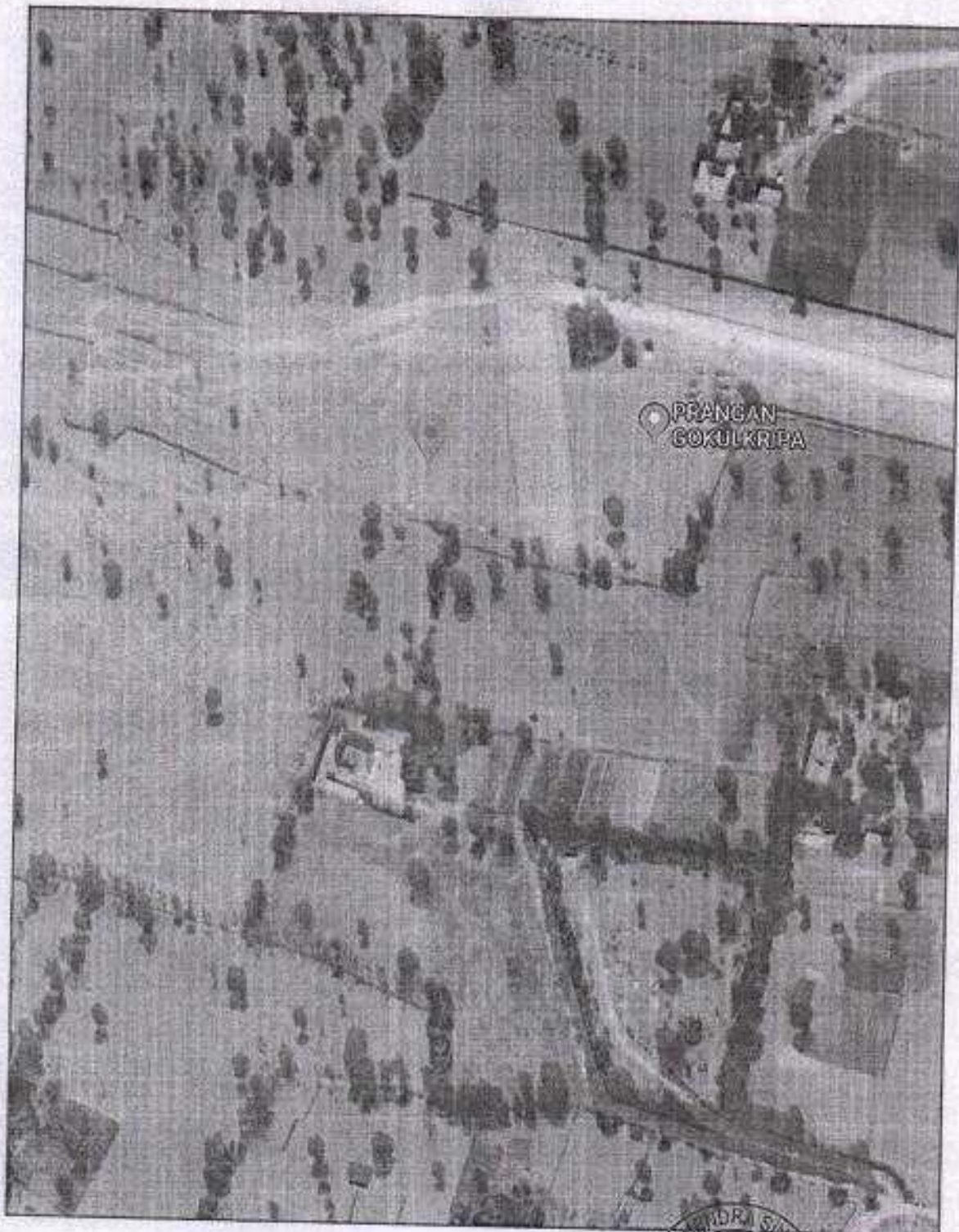
8	Plantation	To be undertaken by the developer. There should be 30 trees/acre of the gross area. Minimum Height of trees should be 5ft. or more.	Complete	100%
9	Ducting	Laying of Ducts at road crossing shall be undertaken by the developer.	Complete	100%
10	Overall Development Works	Status of overall development of scheme calculated with weight-age given to different works as per Govt. order dated 01.12.09	Complete	100.00%



Layout plan of scheme: Gokul Prangan-1



SATELLITE IMAGE OF GOKUL PRANGAN-1 SCHEME
GPS CO-ORDINATES:- 26°53'53.9"N 75°40'07.7"E



Annexure: Gokul Prangan-1

Images showing the status of development works on site at Gokul Prangan-1 Residential Scheme

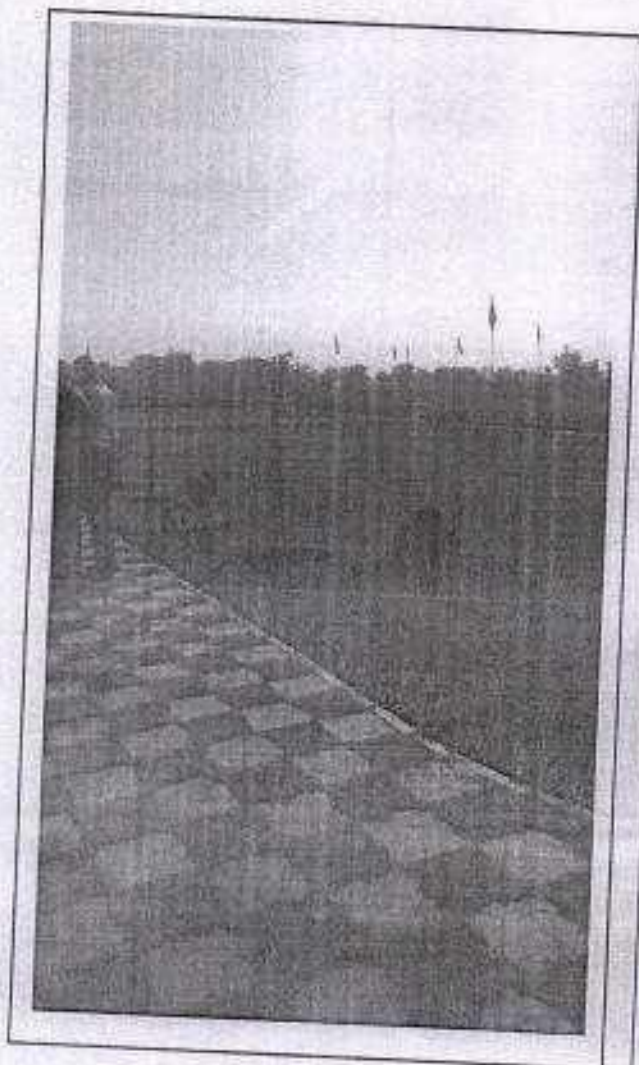


**ROAD, PLANTATION &
ELECTRIFICATION**



SEWER LINE





PARK



WATER TANK



Completion Certificate: Gokul Prangan-1

Name of the Chartered Engineer : Mahendra Singhal
Name of the Scheme : "Gokul Prangan-1" Residential Scheme
Address : At Village Bindayaka, Khasra No. 595/1, 596/1, 594/2
& 593/3, Tehsil Jaipur, District Jaipur
Area of scheme : 18335.25 Sqm.
Scheme Inspection on Dated : 23/12/2019

Summary of development works completed by the developer till the date of inspections is given in the following heads:-

- A. Road work**
Status of work:
WBM (1st & 2nd Layer): 100% Completed
B.T. (3rd Layer): 100% Complete
- B. Sewer Line**
Status of work: 100% Completed
- C. Water Supply**
Status of work: 100% Completed
- D. Electrification**
Status of work: 100% Complete
- E. Drainage & Water Harvesting**
Status of work: 100% Completed
- F. Development of Parks**
Status of work: 100% Completed
- G. Street Lighting**
Status of work: 100% Complete
- H. Plantation**
Status of work: 100% Completed
- I. Ducting**
Status of work: 100% Completed



Summary of development charges against which various works have been completed by the developer

S. No.	Type of Development Work	Phase/ Description	Charges/ weightage as Per Govt. Orders	Work Done (in %)
1	Road work	1st & 2nd Layer WBM	25	100.00%
		3rd Layer WBM with BT/CC	35	100.00%
2	Sewer Line		30	100.00%
3	Water Supply	Phase I	21	100.00%
		Phase II	35	100.00%
4	Electrification		45	100.00%
5	Drainage & Water Harvesting		25	100.00%
6	Development of Parks		20	100.00%
7	Street Lighting		5	100.00%
8	Plantation		4.5	100.00%
9	Ducting		4.5	100.00%
Total			250	100.00%



Circulars

संयुक्त प्रशासन विभाग, दिल्ली

दिनांक: 1-12-2022

आवेदन

प्रमाणित है कि आवेदनकर्ता की आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी। आवेदनकर्ता की आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी। आवेदनकर्ता की आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।

क्र.सं.	विवरण	प्रमाणित	दिनांक
1	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
2	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
3	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
4	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
5	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
6	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
7	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
8	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
9	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022
10	आयकर प्रविणता, आयकर विभाग, दिल्ली में 10/12/2022 को प्राप्त हुई थी।	प्रमाणित	10/12/2022

• *Journal of the American Academy of Child and Adolescent Psychiatry* 40:10 (October 2001): 1231-1236.

[illegible][illegible][illegible][illegible]

(2) प्रीति प्रस्थान एवं अग्रगण्य/ नियमित श्रम --

क्र.सं.	विवरण	पूँजा रकम रु.पैसे	वसुली दिनांक
1	विद्यार्थी छात्राणां	50.00	
2	समावेशन/ निवृत्ती पुला	रुपय सवसात टाईम प्रिमावित्त-दोन शेत की निवृत्तीचा भाग	

4422

[illegible][illegible]

... 20 प्रतिशत ...

... 125 प्रतिशत ...

... 1959 ...

2