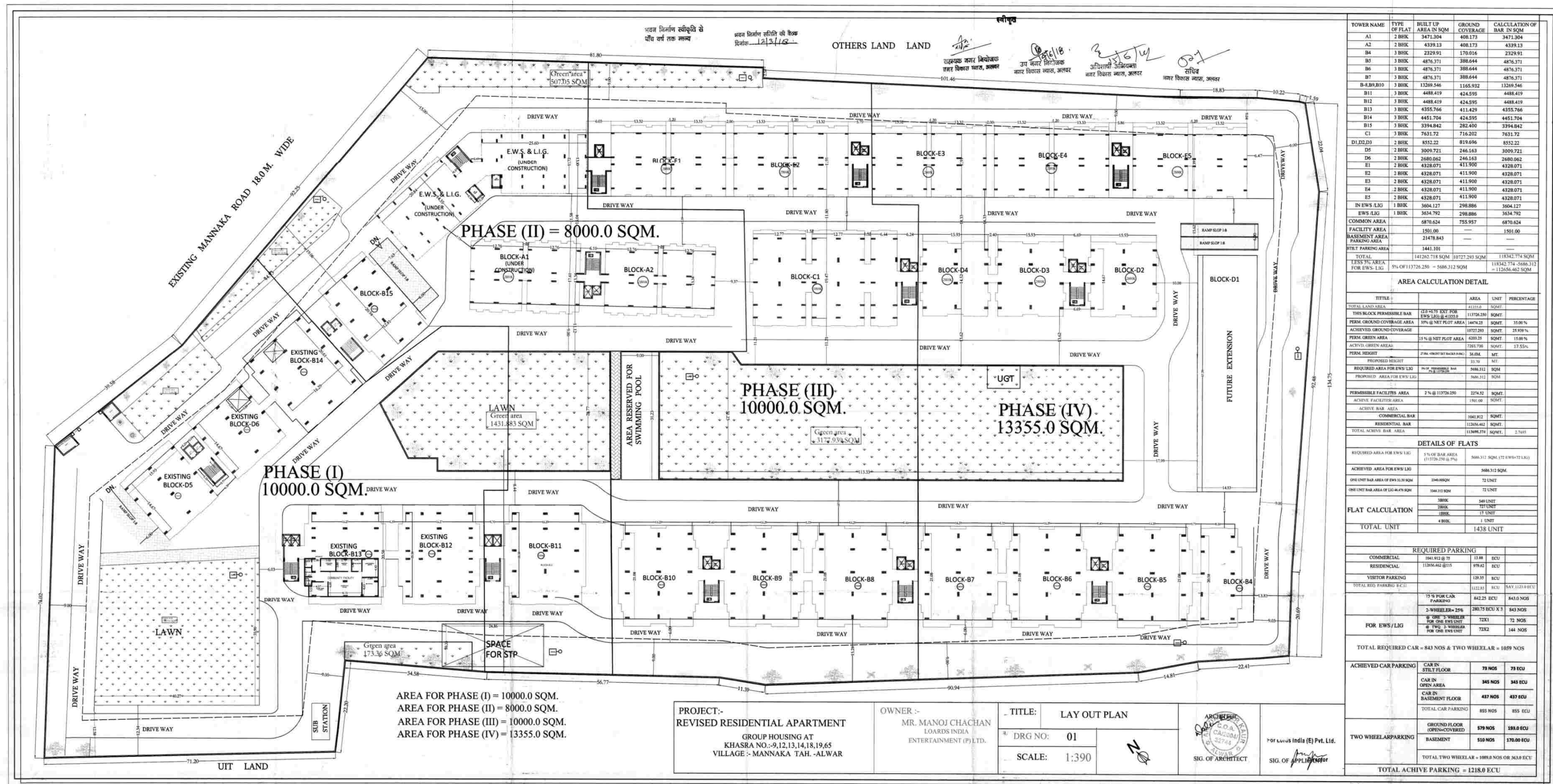
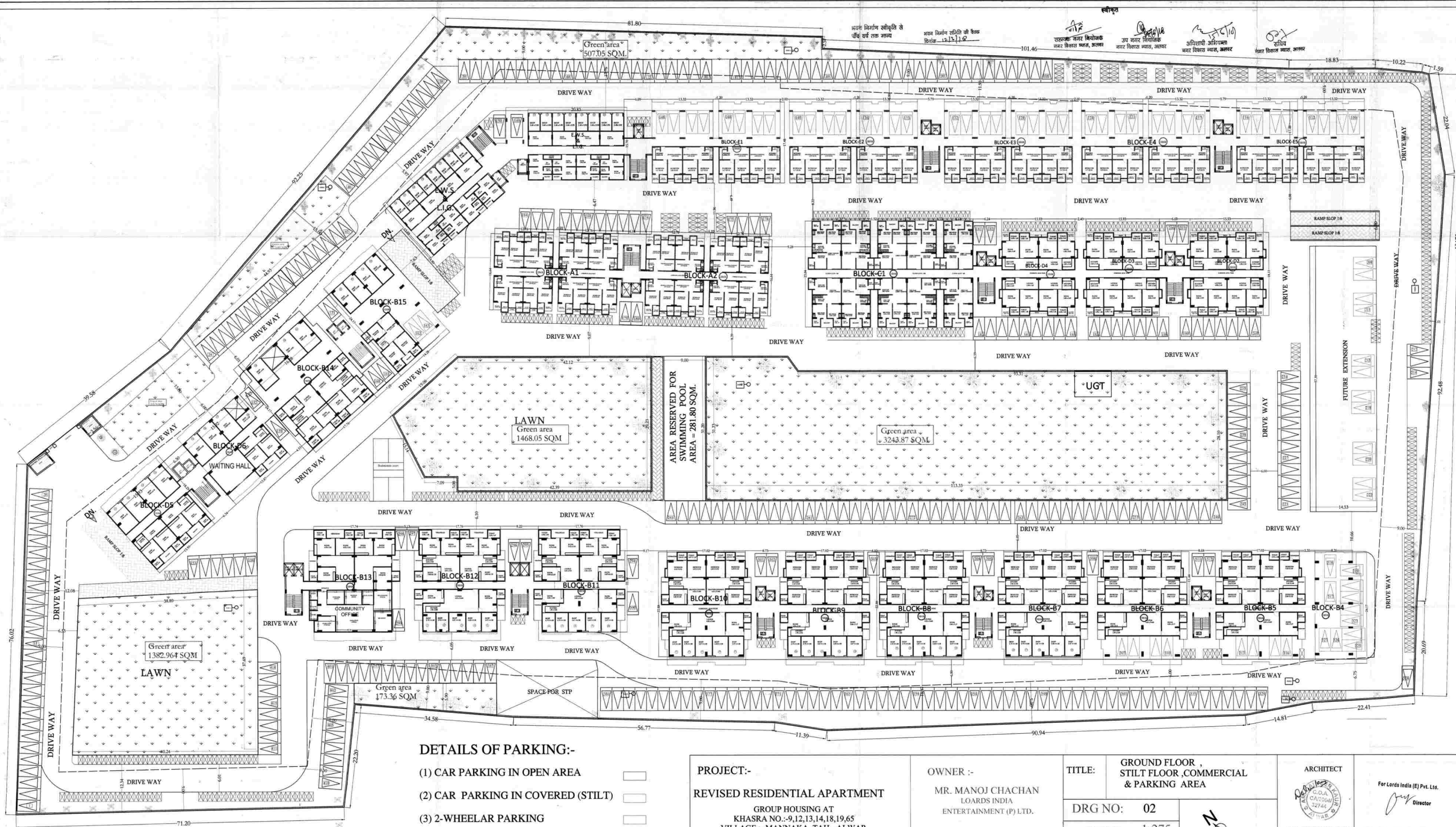






DETAILS OF PARKING:-

- (1) CAR PARKING IN OPEN AREA ☐
- (2) CAR PARKING IN COVERED (STILT) ☐
- (3) 2-WHEELAR PARKING ☐

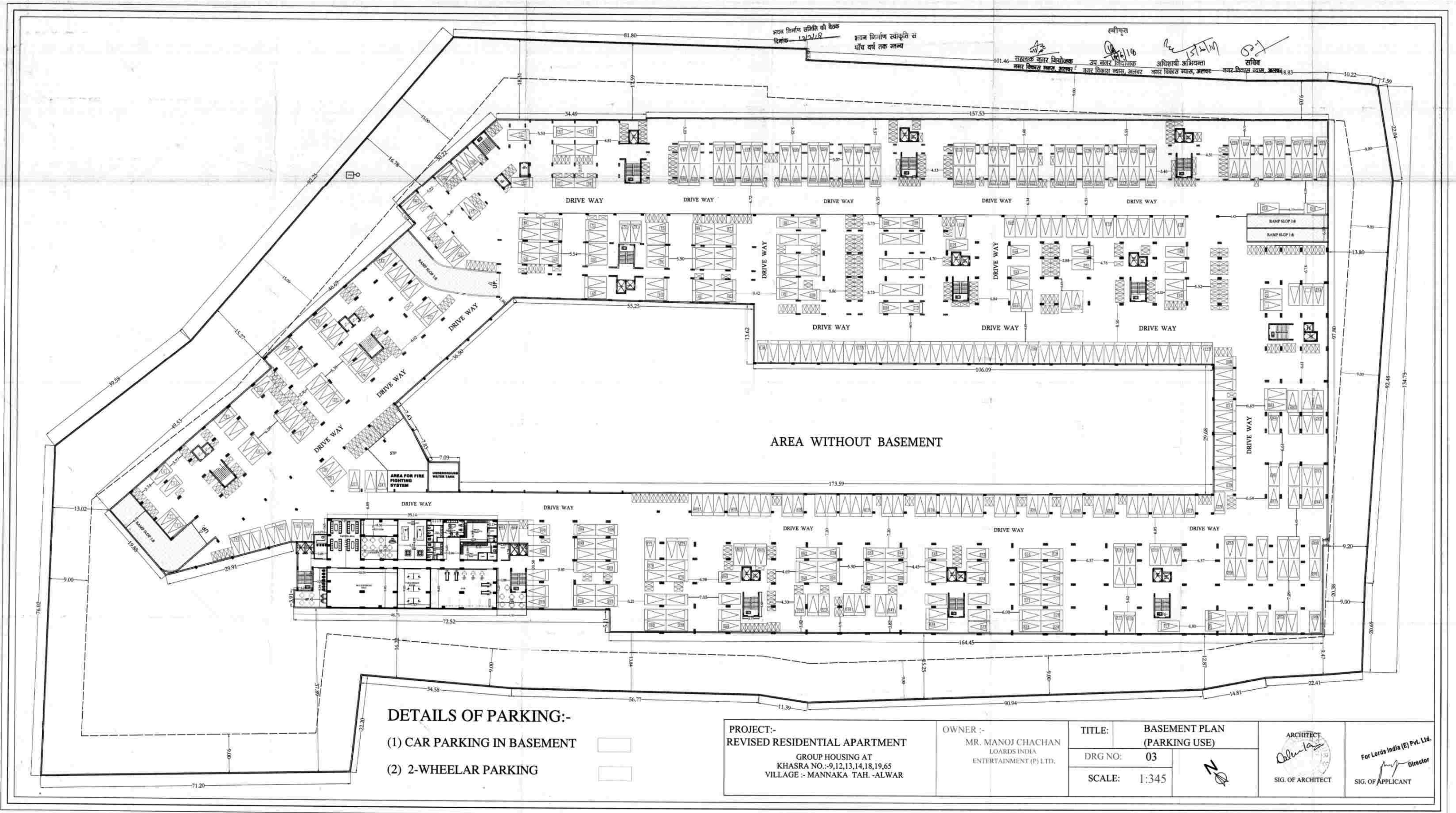
PROJECT:-
REVISED RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-
MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: GROUND FLOOR ,
STILT FLOOR ,COMMERCIAL
& PARKING AREA
DRG NO: 02
SCALE: 1:275

ARCHITECT
C.O.A.
32744
41 MAR 80
SIG. OF ARCHITECT

For Lords India (E) Pvt. Ltd.
Director
SIG. OF APPLICANT



भवन निर्माण समिति की बैठक दिनांक 12/12/18
भवन निर्माण स्वीकृति सं. 101.46
स्वीकृत
सदस्यक नगर विधायक उप नगर विधायक अधिशासी अभियन्ता सचिव
नगर विकास प्रभाग, अलवर नगर विकास प्रभाग, अलवर नगर विकास प्रभाग, अलवर नगर विकास प्रभाग, अलवर 8.83

DETAILS OF PARKING:-

- (1) CAR PARKING IN BASEMENT ☐
- (2) 2-WHEELAR PARKING ☐

PROJECT:-
REVISED RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

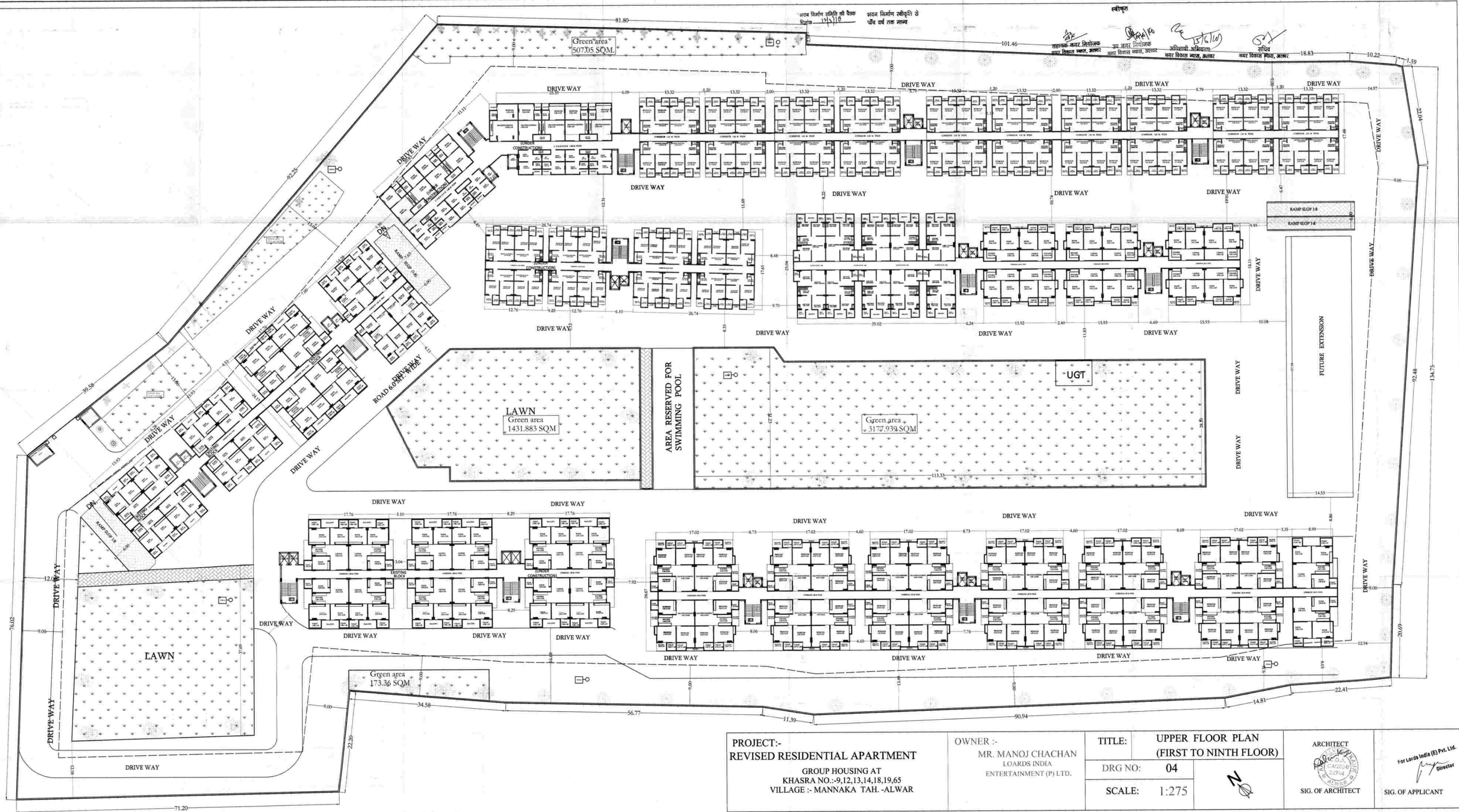
OWNER :-
MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: BASEMENT PLAN
(PARKING USE)
DRG NO: 03
SCALE: 1:345



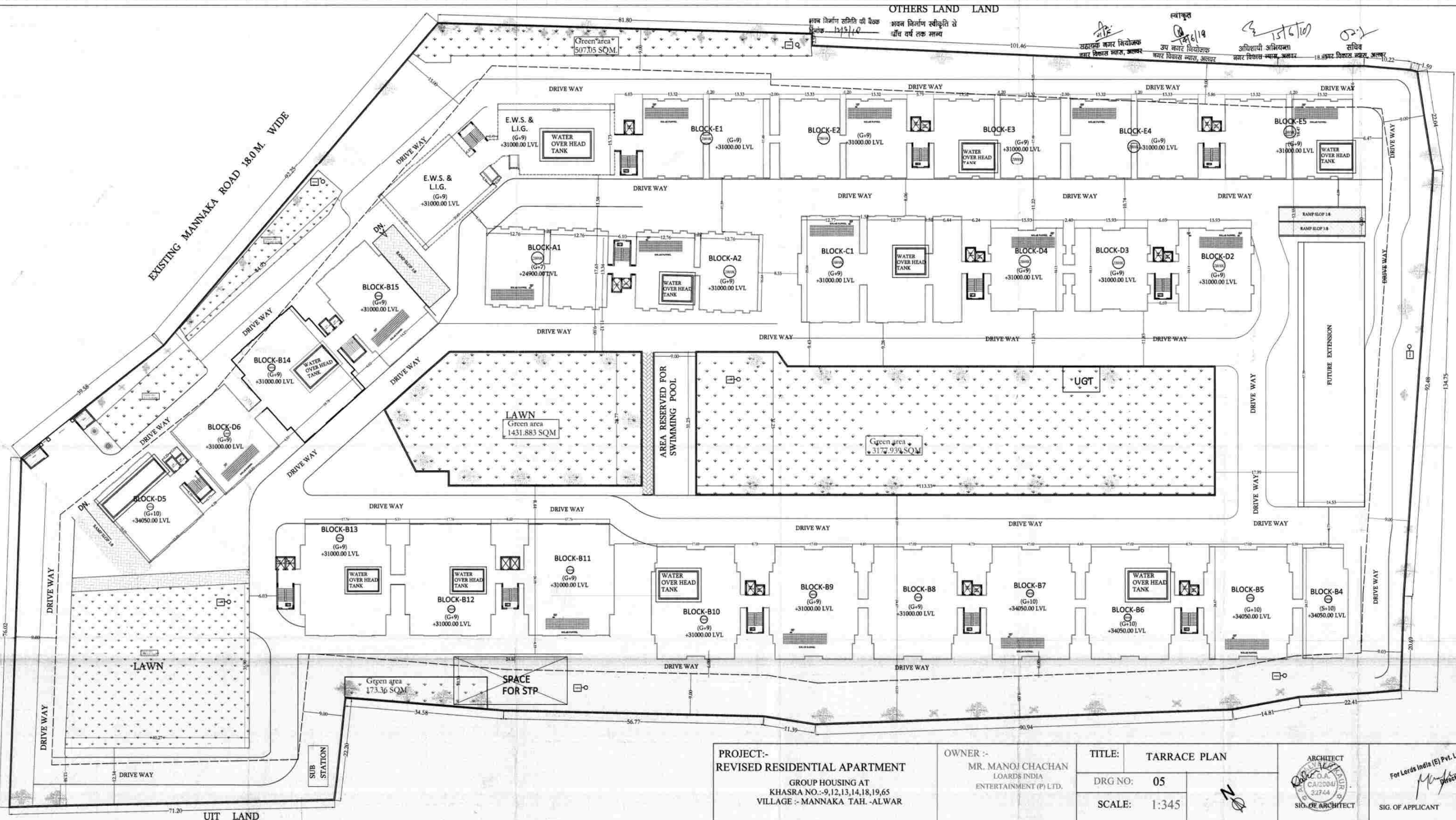
ARCHITECT
Signature
SIG. OF ARCHITECT

For Lords India (E) Pvt. Ltd.
Signature Director
SIG. OF APPLICANT

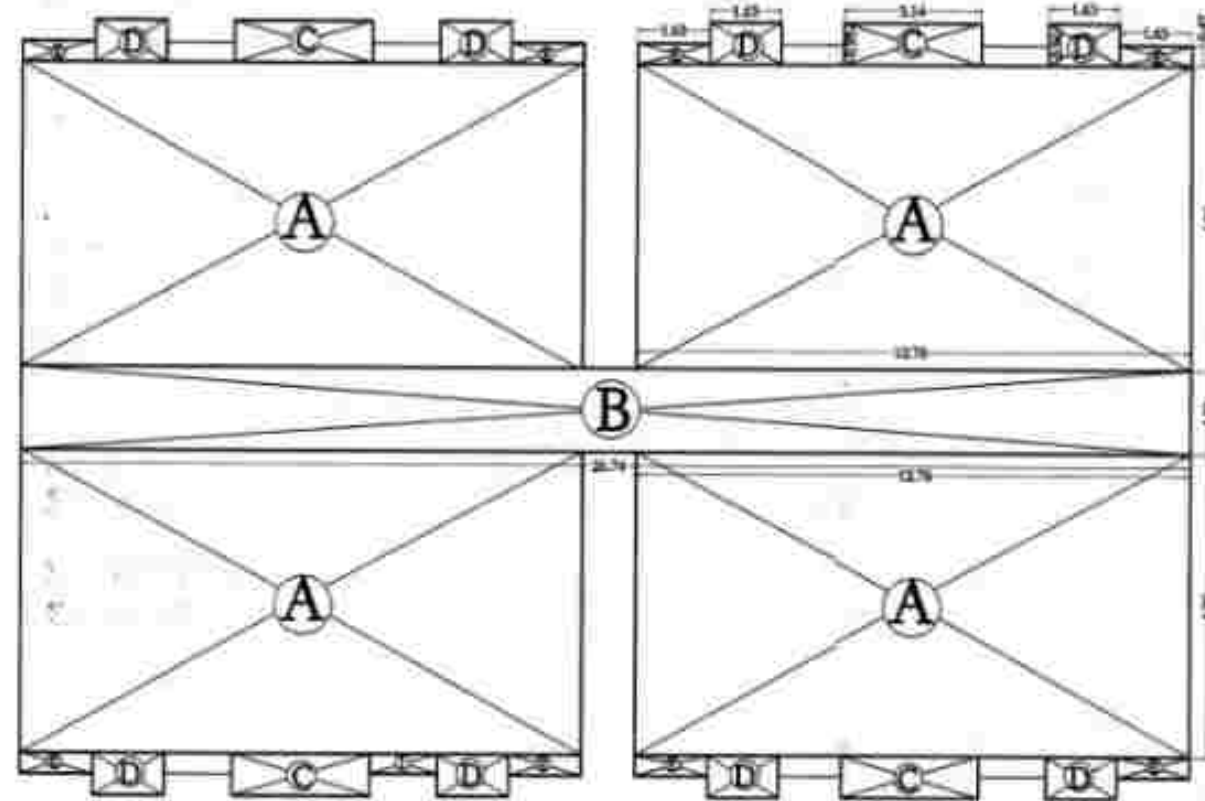


PROJECT:- REVISED RESIDENTIAL APARTMENT GROUP HOUSING AT KHASRA NO.:-9,12,13,14,18,19,65 VILLAGE :- MANNAKA TAH. -ALWAR	OWNER :- MR. MANOJ CHACHAN LOADS INDIA ENTERTAINMENT (P) LTD.	TITLE: UPPER FLOOR PLAN (FIRST TO NINTH FLOOR)		ARCHITECT  SIG. OF ARCHITECT	For Lords India (E) Pvt. Ltd. Director SIG. OF APPLICANT
		DRG NO:	04		
		SCALE:	1:275		

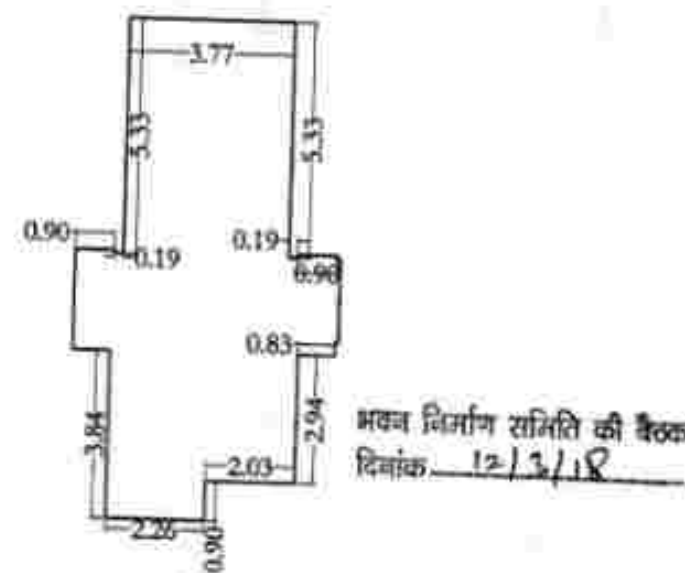
EXISTING MANNAKA ROAD 18.0 M. WIDE



PROJECT:- REVISED RESIDENTIAL APARTMENT GROUP HOUSING AT KHASRA NO.:-9,12,13,14,18,19,65 VILLAGE :- MANNAKA TAH. -ALWAR	OWNER :- MR. MANOJ CHACHAN LOARDS INDIA ENTERTAINMENT (P) LTD.	TITLE: TARRACE PLAN				For Lords India (E) Pvt. Ltd. Director SIG. OF APPLICANT
		DRG NO:	05			
		SCALE:	1:345			



A-1, A-2



भवन निर्माण स्वीकृति से
बैठक दिनांक 12/11/18
**BUILT UP AREA
(LIFT+ STAIR CASE)**

**AREA STATEMENT
ONE FLOOR SQ.MT.
2 BHK(A1, A-2).**

A=12.76 X 6.90 = 88.044 X 4=352.176
B=26.74 X 1.91 = 51.073 X 1= 51.073
C=3.14 X 0.95 = 2.983 X 4 = 11.932
D=1.63 X 0.96 = 1.564 X 8 = 12.528
E=1.65 X 0.47 = 0.775 X 8 = 6.204
TOTAL BAR = 433.913

**BAR AREA FOR BLOCK A-1
(G+7) FLOOR=433.913 X 8 = 3471.304 SQM.**

**BAR AREA FOR BLOCK A-2
(G+9) FLOOR=433.913 X 10 = 4339.13 SQM.**

ONE UNIT AREA = 57.24 SQM.

**TOTAL ONE FLOOR LIFT, STAIRCASE AREA
A-1, A-2 = 48.133 SQM
TOTAL 9 FLOOR AREA = 48.133 X 9 = 433.197**

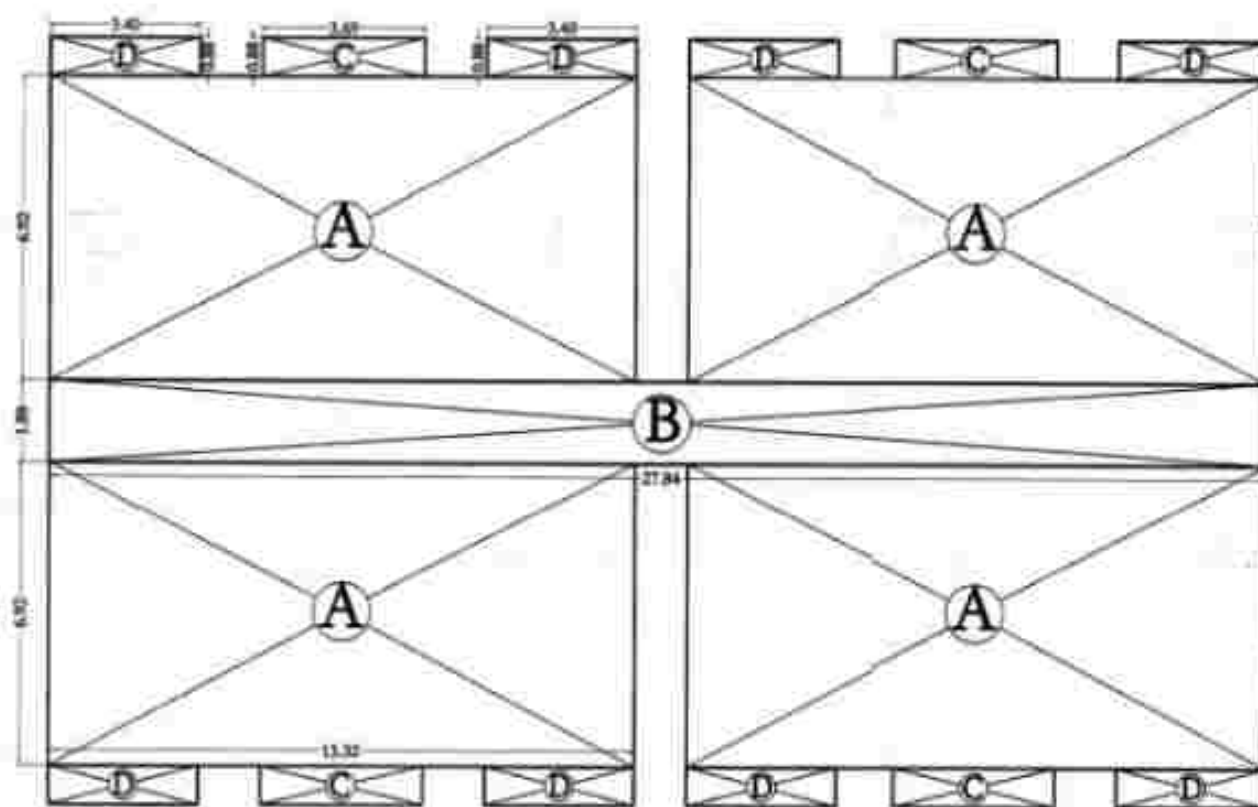
**TOTAL BAR AREA = TOWER (A-1+A-2) +LIFT+ STAIR CASE)
= (3471.304 + 4339.13 + 433.197) = 8243.631 SQM**

TOTAL RESIDENTIAL BAR = 8243.631 SQM

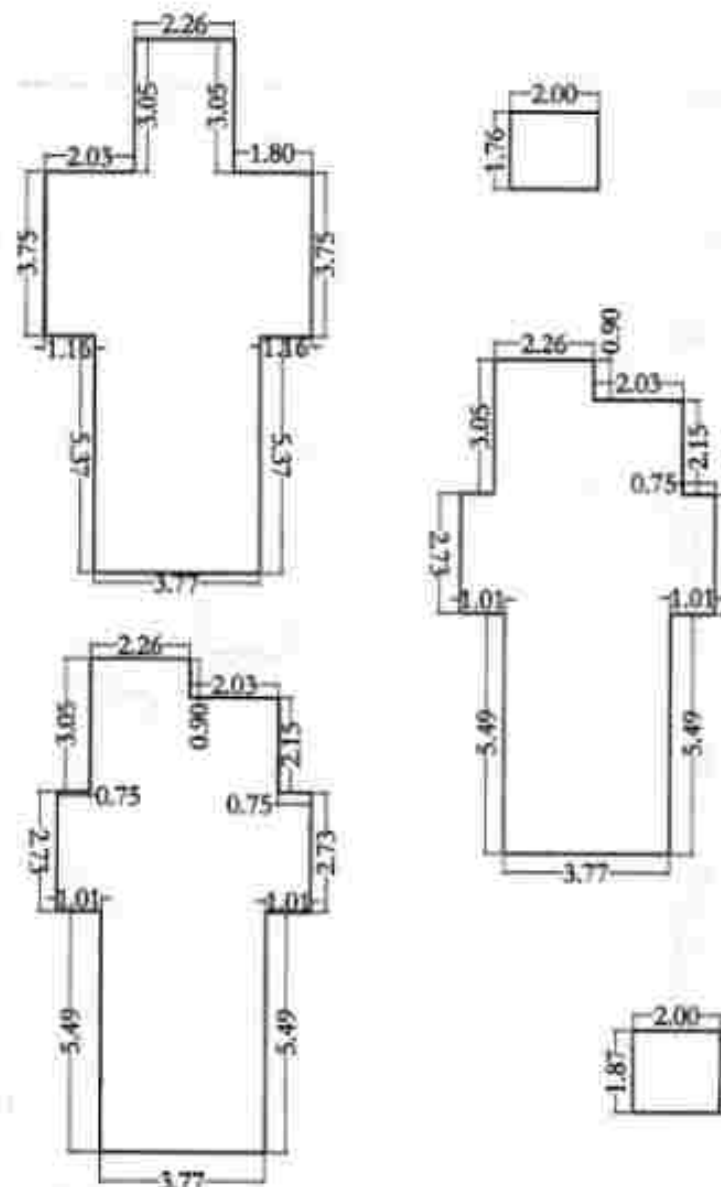
NOTE:-

(1) **TOTAL BAR AREA = 8243.631 SQM**
(2) **GROUND COVERAGE AREA = 816.346 SQM**

सहयक नगर नियोजन
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अधिसायी अभियन्ता
नगर विकास ब्यास, अलवर



E-1, E-2, E-3, E-4, E-5



**AREA STATEMENT (G+9)
ONE FLOOR SQ.MT.
2 BHK(E1, E2, E3, E4, E5).**

A=13.32 X 6.92 = 92.174 X 4=368.696
B=27.84 X 1.88 = 52.339 X 1= 52.339
C=3.70 X 0.88 = 3.256 X 4 = 13.024
D=3.40 X 0.88 = 2.992 X 8 = 23.936

**TOTAL BAR = (A+B+C+D)
NET TOTAL = 457.995 SQM**

**BUILT UP AREA FOR BLOCK E-1, E-2, E-3, E-4, E-5
GROUND FLOOR BAR AREA = 206.116 SQM
BAR AREA FOR (1ST TO 9) FLOOR.
= 457.995 X 9 = 4121.955 SQM.
TOTAL BAR (G+9 FLOOR) = (4121.955 + 206.116)
= 4328.071 SQM**

ONE UNIT AREA = 60.968 SQM.

**TOTAL ONE FLOOR LIFT, STAIRCASE AREA
E-1 = 49.984 SQM
E-2, E-3 = 47.755 + 3.520 = 51.275 SQM
E-4, E-5 = 47.755 + 3.748 = 51.523 SQM**

**NET BAR AREA
BLOCK AREA +LIFT+ STAIR CASE)
E-1 = (4328.071 + 49.984) = 4827.911 SQM (G+9)
E-2 = (4328.071 + 51.275) = 4840.821 SQM (G+9)
E-3 = (4328.071 + 51.275) = 4840.821 SQM (G+9)
E-4 = (4328.071 + 51.523) = 4843.301 SQM (G+9)
E-5 = (4328.071 + 51.523) = 4843.301 SQM (G+9)**

TOTAL RESIDENTIAL BAR = 23168.175 SQM

NOTE:-

(1) **TOTAL BAR AREA = 23168.175 SQM**
(2) **GROUND COVERAGE AREA = 2059.500 SQM**

PROJECT:-

**RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR**

OWNER :-

**MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.**

TITLE: -

**B.A.R. DETAILS OF
BLOCK :- A-1, A-2
BLOCK :- E-1 TO E-5**

DRG NO:- 06



for Lords India (E) Pvt. Ltd.

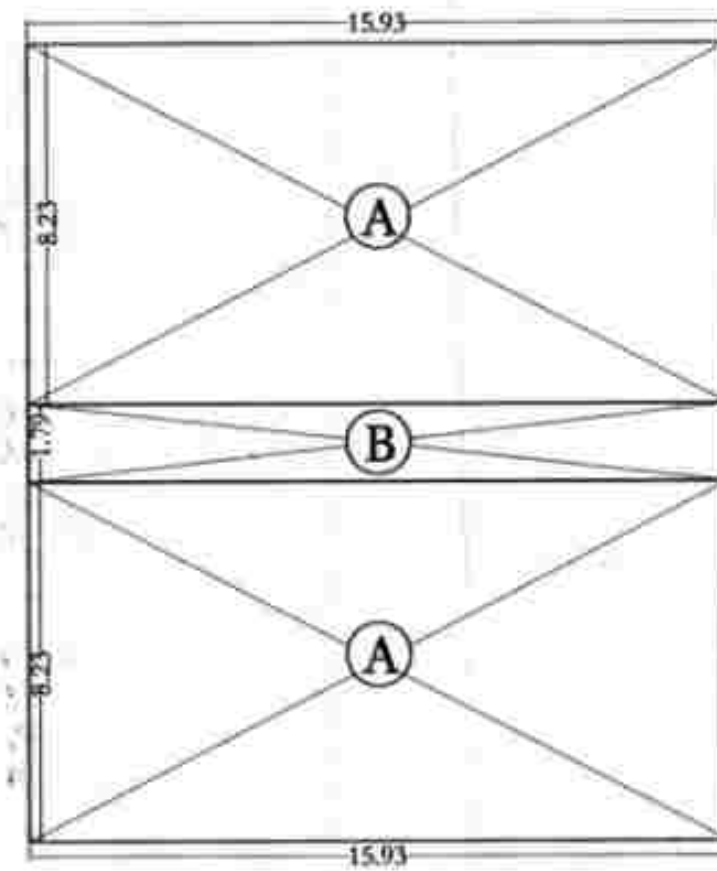
SIG. OF APPLICANT

SCALE: 1:170

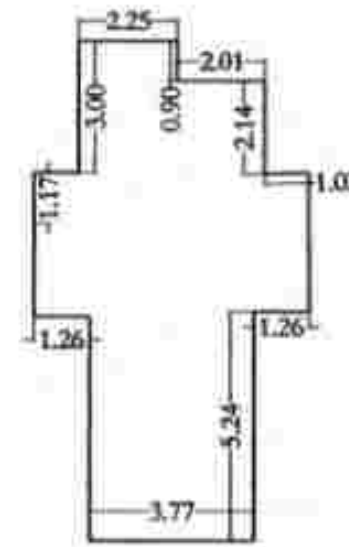
ARCHITECT



SIG. OF ARCHITECT



B.A.R AREA DETAIL (BLOCK-D5,D6)



BUILT UP AREA
(LIFT+ STAIR CASE)

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छैव वर्ष तक मन्व्य

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दिनांक 12/3/18

AREA STATEMENT

ONE FLOOR SQM.

2 BHK(D5,D6).

$$A=15.930 \times 8.230 = 131.104 \times 2 = 262.208$$

$$B=15.930 \times 1.790 = 28.515$$

$$\text{NET TOTAL} = 290.723$$

BAR AREA FOR BLOCK D-5

$$\text{GROUND} = 159.619 = 159.619 \text{ SQM.}$$

$$1 \text{ TO } 9 \text{ FLOOR} = 290.723 \times 9 = 2616.504$$

$$10\text{TH FLOOR} = 233.598$$

$$\text{TOTAL} = 3009.721 \text{ SQM.}$$

BAR AREA FOR BLOCK D-6

$$\text{GROUND} = 63.558 \text{ SQM.}$$

$$1 \text{ TO } 9 \text{ FLOOR} = 290.723 \times 9 = 2616.504$$

$$\text{TOTAL} = 2680.062 \text{ SQM.}$$

$$\text{ONE UNIT AREA} = 82.646 \text{ SQM.}$$

$$\text{TOTAL ONE FLOOR LIFT, STAIRCASE AREA} \\ D-5, D-6 = 50.869 \text{ SQM}$$

NET RESIDENTIAL BUILT UP AREA

$$\text{TOTAL BAR AREA + LIFT + STAIR CASE}$$

$$D-5 = (3009.721 + 559.559) = 3569.28 \text{ SQM}$$

$$D-6 = 2680.062 \text{ SQM}$$

$$\text{TOTAL RESIDENTIAL BAR} = 6249.342 \text{ SQM}$$

$$\text{BAR AREA OF COMMERCIAL} = (D-5 + D-6)$$

$$= 102.576 + 87.991$$

$$= 190.576 \text{ SQM}$$

NOTE:-

$$(1) \text{ TOTAL BAR AREA} = 6249.342 \text{ SQM}$$

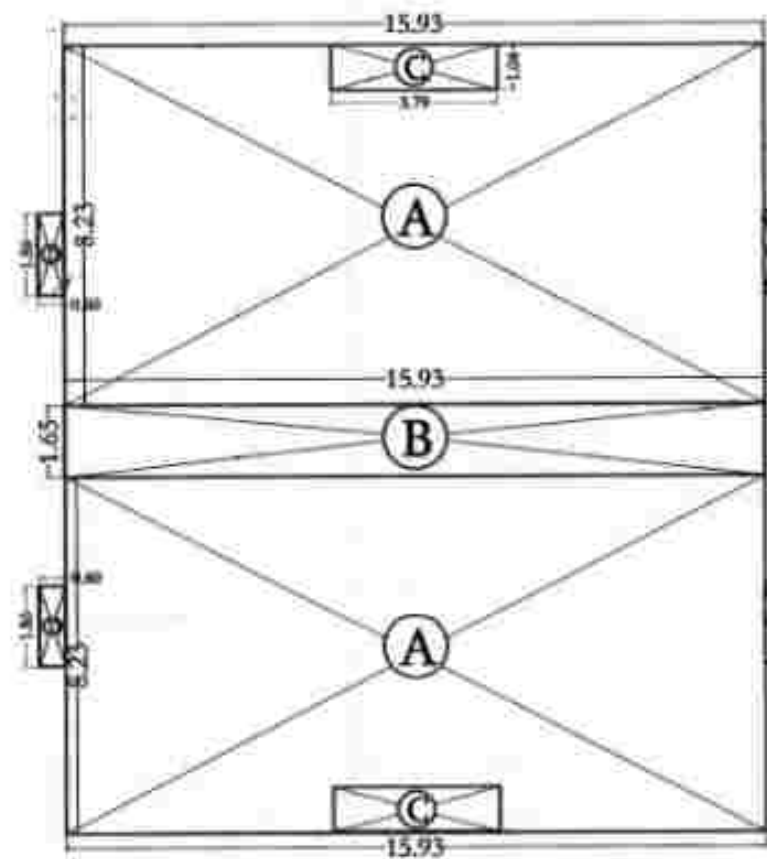
$$(2) \text{ GROUND COVERAGE AREA} = 492.326 \text{ SQM}$$

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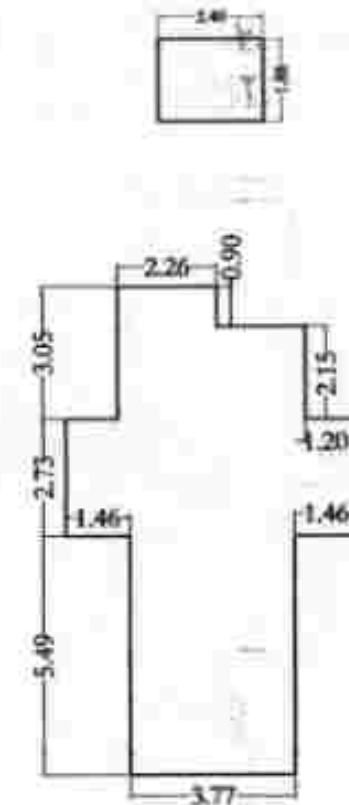
उप नगर नियोजक
नगर विकास ब्यास, अलवर

अधिसायी अभियन्ता
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B.A.R AREA DETAIL (BLOCK-D1,D2,D3)



BUILT UP AREA
(LIFT+ STAIR CASE)

AREA STATEMENT

ONE FLOOR SQM.

2 BHK(D1,D2,D3).

$$A=15.930 \times 8.230 = 131.104 \times 2 = 262.208$$

$$B=15.930 \times 1.650 = 26.285$$

$$(-C) = (3.79 \times 1.04) \times 2 = 7.883$$

$$D = 0.60 \times 1.86 = 1.116 \times 4 = 4.464$$

$$\text{NET TOTAL} = 285.074 \text{ SQM}$$

BUILT UP AREA FOR D-1,D-2,D-3

$$\text{BAR AREA FOR GROUND} = 285.074 \times 3 = 855.222 \text{ SQM.}$$

$$\text{BAR AREA FOR 1st TO 9 FLOOR} = 285.074 \times 9 \times 3 = 7696.998 \text{ SQM}$$

$$\text{TOTAL} = 8552.22 \text{ SQM.}$$

$$\text{ONE UNIT AREA} = 77.828 \text{ SQM.}$$

TOTAL ONE FLOOR LIFT, STAIRCASE AREA

$$D-1, D-2, D-3 = 50.225 + 4.511 = 54.736 \text{ SQM}$$

$$10 \text{ FLOOR AREA} = 54.736 \times 10 = 547.36 \text{ SQM}$$

NET RESIDENTIAL BUILT UP AREA

$$\text{BLOCK (D-1 + D-2 + D-3) + LIFT + STAIR CASE}$$

$$= (8552.22 + 547.36) = 9099.58 \text{ SQM}$$

$$\text{TOTAL RESIDENTIAL BAR} = 9099.58 \text{ SQM}$$

NOTE:-

$$(1) \text{ TOTAL BAR AREA} = 9099.580 \text{ SQM}$$

$$(2) \text{ GROUND COVERAGE AREA} = 819.696 \text{ SQM}$$

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: - B.A.R. DETAILS OF
BLOCK :-D-1,D-2,D-3,
D-5,D-6,

DRG NO:- 07



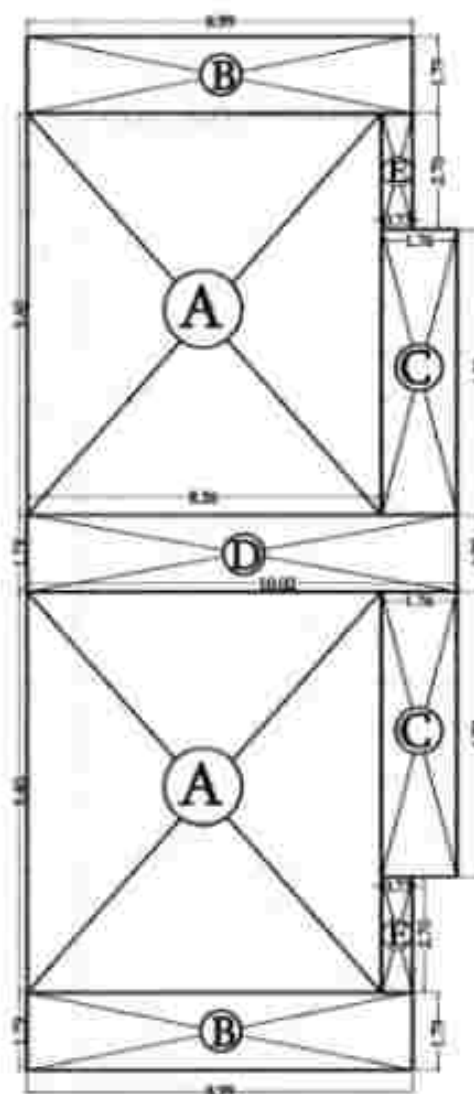
For Lords India (E) Pvt. Ltd.

SIG. OF APPLICANT

SCALE: 1:170



SIG. OF ARCHITECT



BLOCK
= B-4

(CORRIDOR AREA)

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दिनांक 12/3/18

AREA STATEMENT (S+10)

ONE FLOOR

3BHK (B-4)

A=8.260X9.400=77.644X2=155.288

B=8.99X1.791=16.101 X 2=32.202

C=1.763 X 6.70=11.812 X 2=23.624

D=10.02X1.790=17.935X1=17.935

E= 0.73 X 2.70 = 1.971 X 2 = 3.942

TOTAL=232.991

BAR AREA FOR BLOCK B-4

1st TO 10 FLOOR =232.991 X 10=2329.91 SQM

AREA OF EACH UNIT=118.851 SQM

TOTAL ONE FLOOR CORRIDOR AREA

B-4 = 4.240 SQM

FOR (S+10) FLOOR =4.24 X 11 = 46.64

NET RESIDENTIAL BUILT UP AREA

BLOCK BAR AREA +CORRIDOR AREA)

B-4 =(2329.91 + 46.64) = 2376.55 SQM

TOTAL RESIDENTIAL BAR = 2376.55 SQM

NOTE:-

(1) TOTAL BAR AREA = 2376.55 SQM

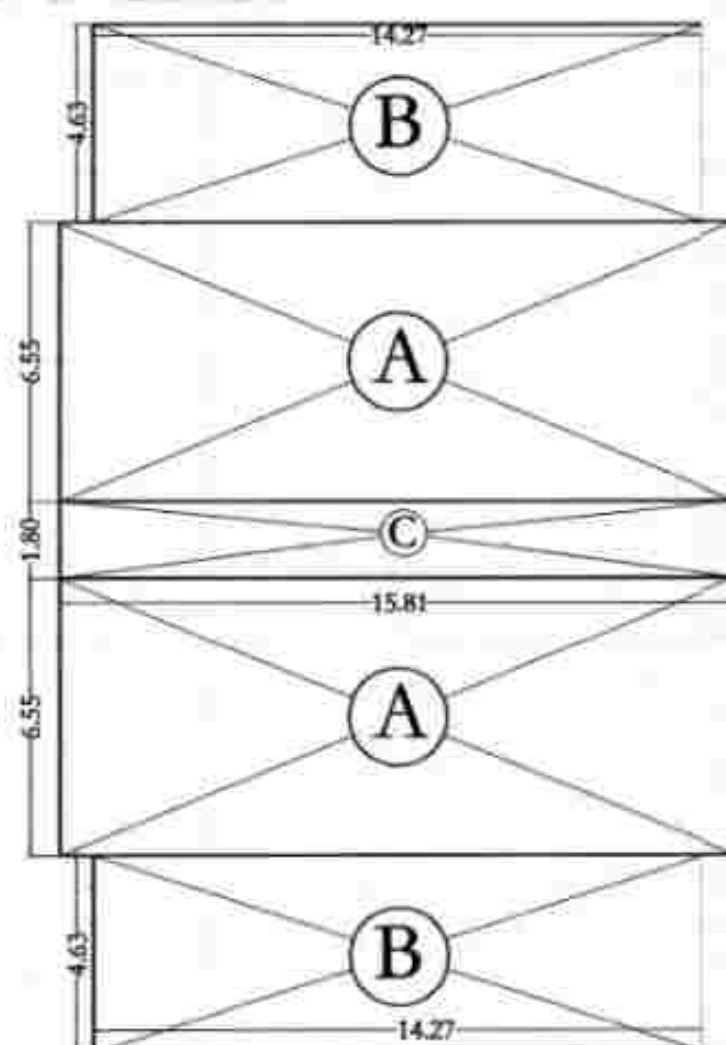
(2) GROUND COVERAGE AREA = 170.016 SQM

सचिव
नगर विकास ब्यास, अलवर

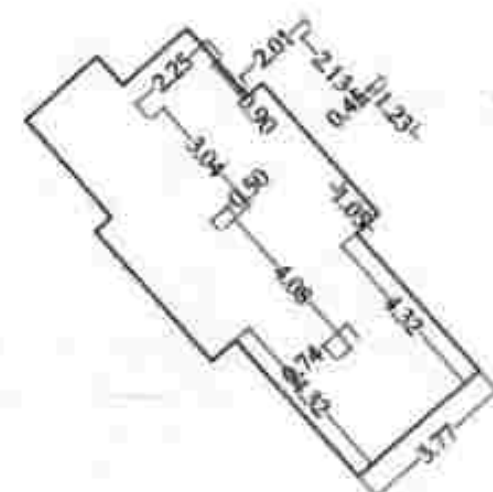
सहस्यक नगर नियोजक
नगर विकास ब्यास, अलवर

उप नगर नियोजक
नगर विकास ब्यास, अलवर

अधिसापी अभियन्ता
नगर विकास ब्यास, अलवर



B-15



BUILT UP AREA
(LIFT+ STAIR CASE)

AREA STATEMENT (G+9) SQM.

ONE FLOOR

3BHK (B-15)

A=15.81 X 6.55 =103.555 X 2 = 207.11

B=14.27 X 4.63 = 66.070 X 2 = 132.140

C=15.810 X 1.80 = 28.45 X1 = 28.458

TOTAL=367.708 SQM

BAR AREA FOR BLOCK 15

GROUND FLOOR = 85.470

1st TO 9 FLOOR = 9 X 367.708 = 3309.372 SQM

TOTAL = 3394.842 SQM

AREA OF EACH UNIT=104.891 SQM

TOTAL ONE FLOOR LIFT,STAIRCASE AREA

B-15 =48.613 SQM

NET RESIDENTIAL BUILT UP AREA

BLOCK (B-15)+LIFT+ STAIR CASE)

= (3394.842+48.613) = SQM

TOTAL RESIDENTIAL BAR = 3880.972 SQM.

BAR AREA FOR FOR COMMERCIAL = B-15

= 81.265 SQM

NOTE:-

(1) TOTAL BAR AREA = 3880.972 SQM

(2) GROUND COVERAGE AREA = 282.400 SQM

PROJECT:-

RESIDENTIAL APARTMENT

GROUP HOUSING AT

KHASRA NO.:-9,12,13,14,18,19,65

VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN

LOADS INDIA

ENTERTAINMENT (P) LTD.

TITLE: -

B.A.R. DETAILS OF

B-4, & B-15

DRG NO:- 08



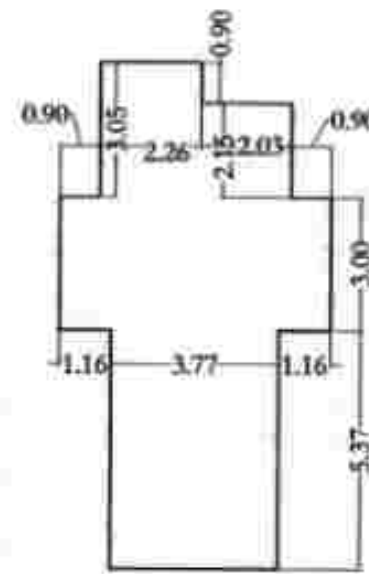
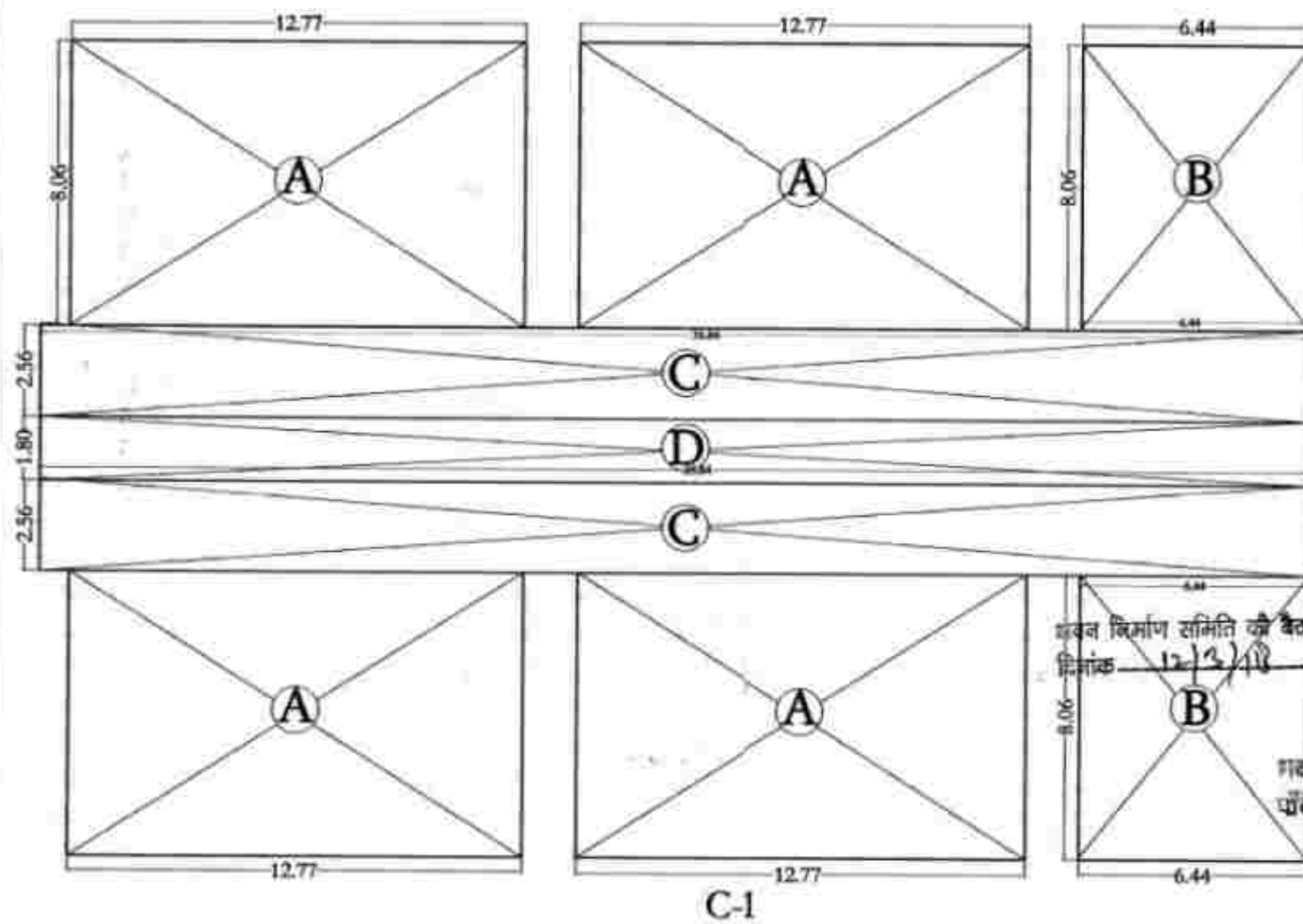
OF LOADS India (E) Pvt. Ltd.

SIG. OF APPLICANT

SCALE: 1:170

ARCHITECT

SIG. OF ARCHITECT



**BUILT UP AREA
(LIFT+ STAIR CASE)**

AREA STATEMENT (G+9) SQM.

3BHK (C-1)

A=12.77X8.06=102.926X4=411.705 SQM

B=6.44X8.06=51.906X2=103.812 SQM

C=35.84 X 2.56 =91.750X2=183.501

D=35.84 X 1.79 = 64.154X1 = 64.154

TOTAL=763.172 SQM

BAR AREA FOR BLOCK C-1

GROUND FLOOR =763.172 SQM

1st TO 9 FLOOR=763.172 X 9 = 6868.548 SQM

TOTAL =7631.72 SQM

AREA OF EACH UNIT= 81.295 SQM

TOTAL ONE FLOOR LIFT, STAIRCASE AREA

C-1 =49.773 SQM

NET RESIDENTIAL BUILT UP AREA

TOTAL BAR AREA +LIFT+ STAIR CASE)

C-1 = (7631.72 + 497.73) = 8129.45SQM

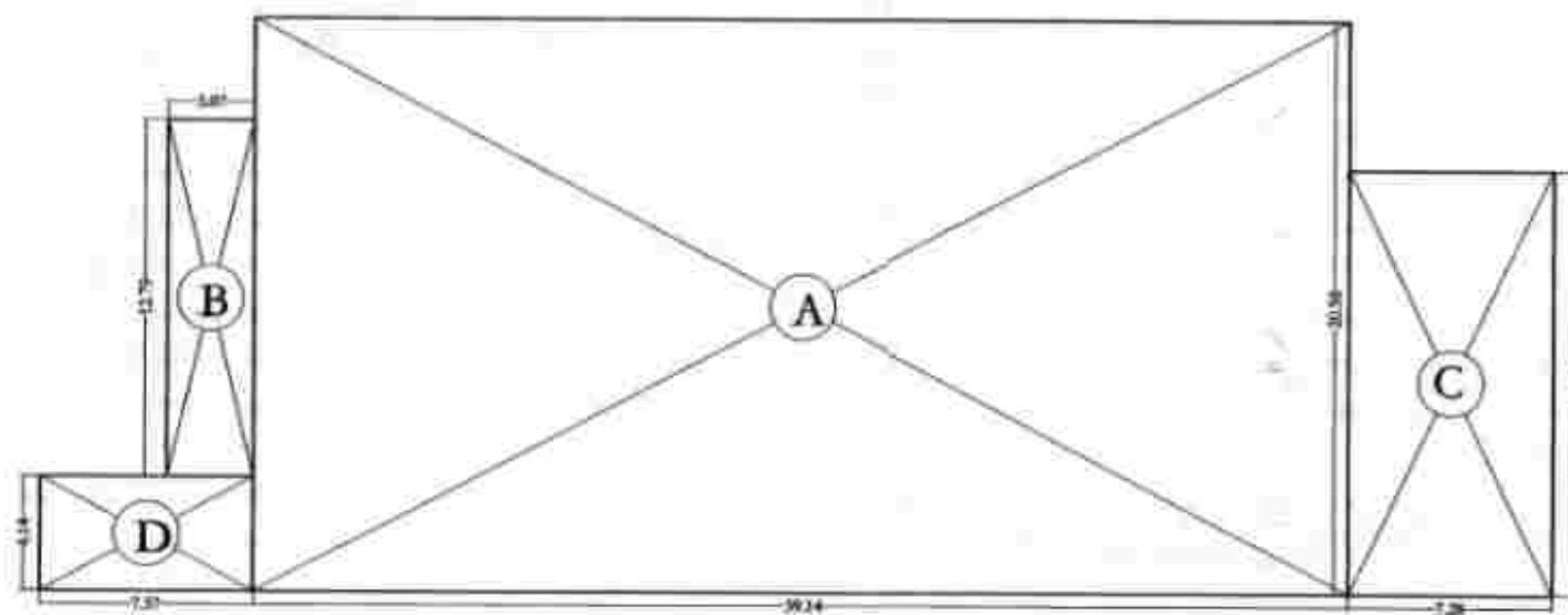
TOTAL RESIDENTIAL BAR = 8129.45 SQM

NOTE:-

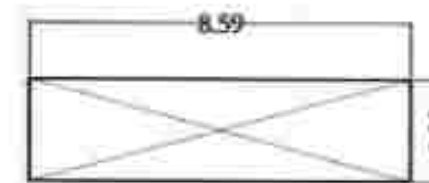
(1) TOTAL BAR AREA = 8129.45 SQM

(2) GROUND COVERAGE AREA = 716.202 SQM

स्वीकृत
सहायक नगर निरीक्षक
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उप नगर निरीक्षक
नगर विकास विभाग, अलवर
अधिसूची अभियन्ता
नगर विकास विभाग, अलवर
सचिव
नगर विकास विभाग, अलवर



CLUB HOUSE



STORAGE AREA AT
TERRACE FLOOR OF BLOCK
B-12,B-13

**AREA STATEMENT
(COMMON FACILITIES)**

CLUB HOUSE

A=39.14 X 20.58 = 805.501

B=3.07 X 12.79 = 39.265

C=7.28 X 15.27 =22.55

D= 7.57 X 4.14 =31.339

NET TOTAL=898.655 SQM

COMMUNITY OFFICE

A=17.01 X 9.39 =159.724

B= 1.03 X 6.70= 6.901

TOTAL= 166.625 SQM

FIRE FIGHTING ROOM

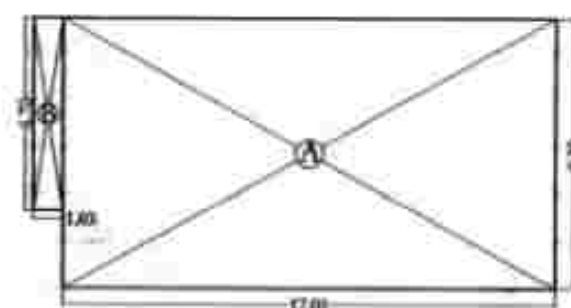
9.30 X 4.91 = 45.663 SQM

COMMUNITY HALL=8.23 X 8.41 = 69.20 SQM

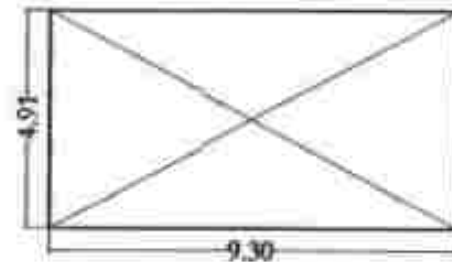
FACILITIES AREA=9.07 X 31.0 = 281.0 SQM

COMMON STORAGE=8.59 X 2.32 X 2 =39.857 SQM

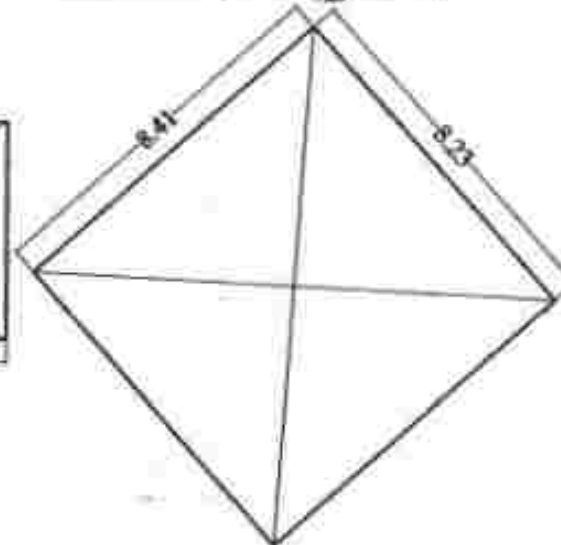
TOTAL FACILITIES AREA =1501.00 SQM



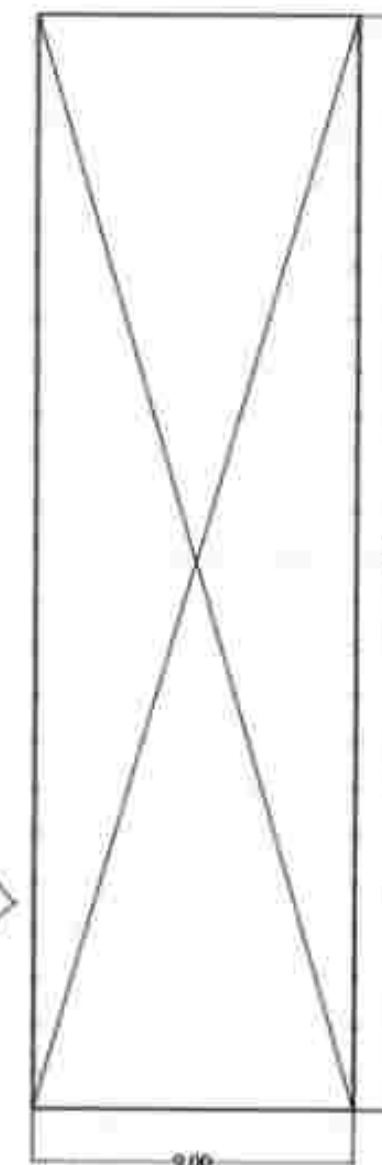
COMMUNITY OFFICE



AREA FOR FIRE
FIGHTING
SYSTEM



COMMUNITY HALL



FACILITIES AREA

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: - B.A.R. DETAILS OF
BLOCK :- C-1 &
COMMON FACILITIES

DRG NO:- 09



Loads India (E) Pvt. Ltd.

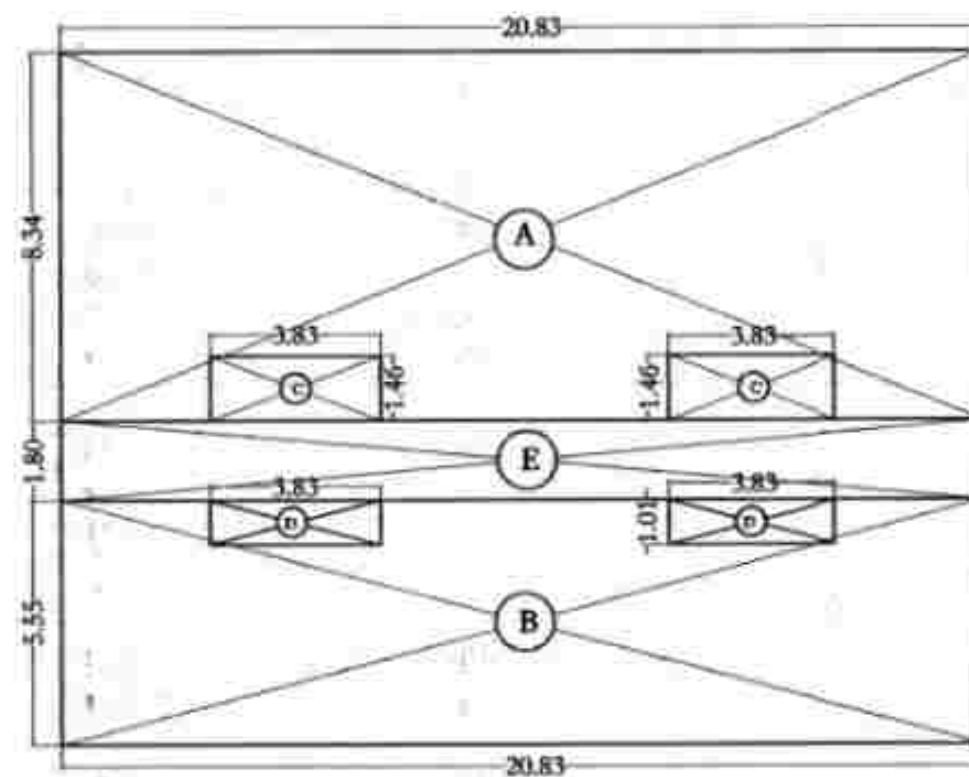
SIG. OF APPLICANT

SCALE: 1:170

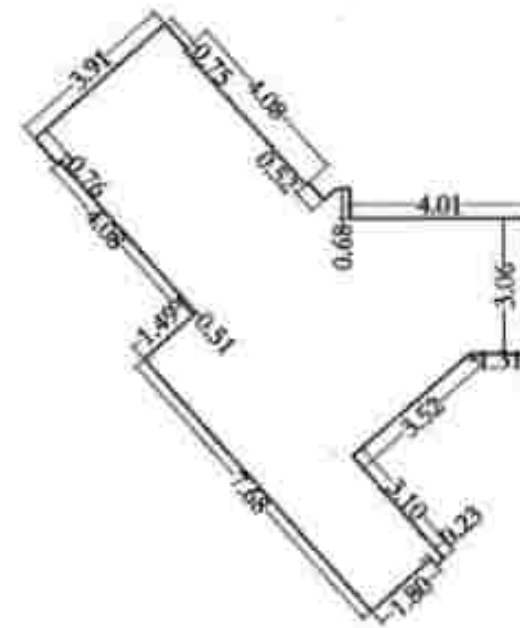
ARCHITECT

CA/2004/
32744

SIG. OF ARCHITECT



BLOCK :- EWS/LIG



भवन निर्माण स्वीकृति से
पाँच वर्ष तक मान्य

BUILT UP AREA
(LIFT+ STAIR CASE+ CORRIDOR)

AREA STATEMENT(G+9) ONE FLOOR SQM

$$\begin{aligned} A &= 20.828 \times 8.340 = 173.705 \times 1 = 173.705 \\ B &= 20.830 \times 5.55 = 115.607 \times 1 = 115.607 \\ (-C) &= 3.83 \times 1.460 = 5.592 \times 2 = 11.184 \\ (-D) &= 3.83 \times 1.010 = 3.868 \times 2 = 7.736 \\ E &= 20.830 \times 1.80 = 37.494 \text{ SQM} \end{aligned}$$

$$\begin{aligned} \text{NET TOTAL} &= (A + B + E) - (C + D) \\ &= (173.705 + 115.607 + 37.494) - (11.184 + 7.736) \\ &= (326.806) - (18.92) \\ &= 307.886 \text{ SQM} \end{aligned}$$

$$\begin{aligned} \text{GROUND FLOOR} &= 20.830 \times 10.667 = 222.193 \\ \text{1st TO 9 FLOOR} &= 307.886 \times 9 = 2770.974 \end{aligned}$$

$$\text{TOTAL} = 2993.167 \text{ SQM}$$

L.I.G. ONE UNIT AREA = 46.476 SQM
E.W.S. ONE UNIT AREA = 32.50 SQM.

TOTAL ONE FLOOR LIFT, STAIRCASE AREA
EWS & LIG = 61.096 = 61.096 SQM
TOTAL AREA = 61.096 X 10 = 610.96 SQM

NET BUILT UP AREA
TOTAL BAR AREA + LIFT + STAIR CASE
(2993.167 + 610.96) = 3604.127 SQM

TOTAL RESIDENTIAL BAR = 3604.127 SQM

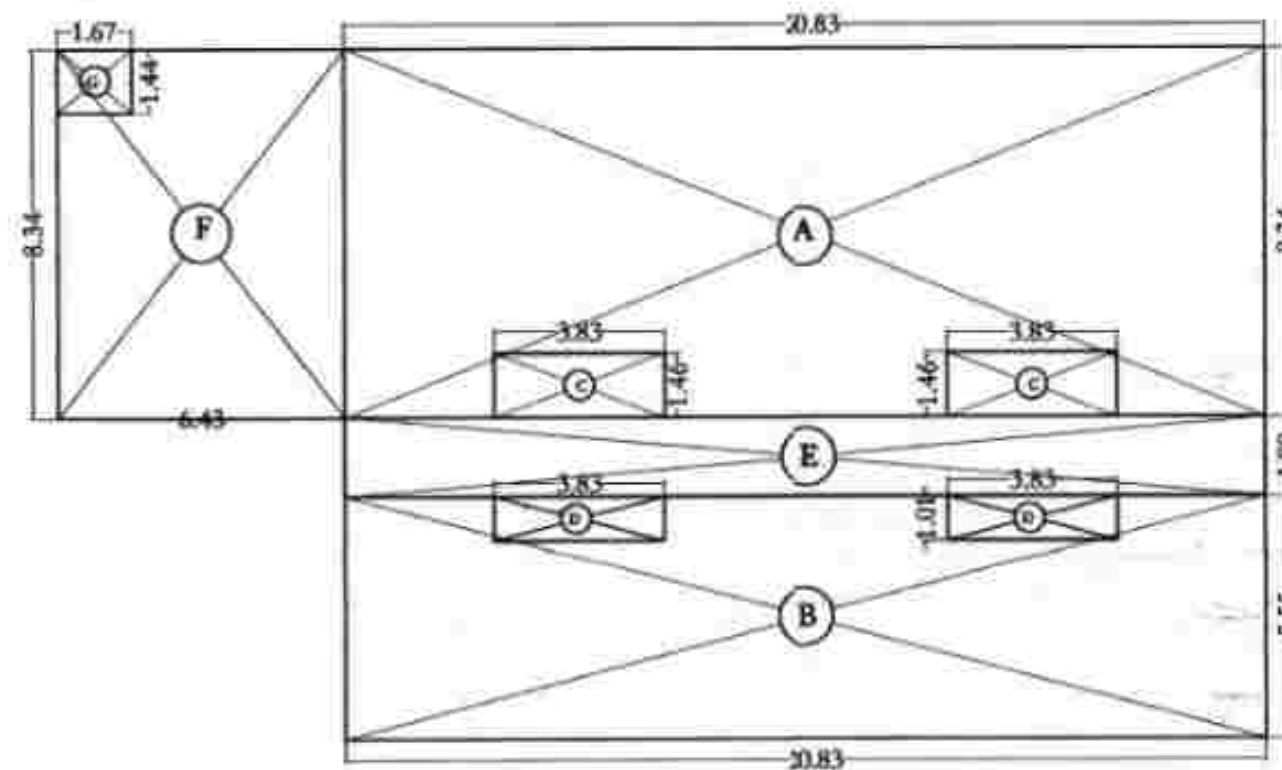
GROUND FLOOR AREA FOR COMMERCIAL = 118.369 SQM

NOTE :-

- (1) TOTAL BAR AREA = 3604.127 SQM
(2) GROUND COVERAGE AREA = 298.886 SQM

स्वीकृत

सहायक नगर मियोजक
नगर विकास ब्यास, अलवर
उप नगर मियोजक
नगर विकास ब्यास, अलवर
अधिकायी अभियन्ता
नगर विकास ब्यास, अलवर
सचिव
नगर विकास ब्यास, अलवर



BLOCK :- EWS/LIG

BUILT UP AREA
(LIFT+ STAIR CASE)

AREA STATEMENT(G+9) ONE FLOOR SQ.MT.

$$\begin{aligned} A &= 20.828 \times 8.340 = 173.705 \times 1 = 173.705 \\ B &= 20.830 \times 5.55 = 115.607 \times 1 = 115.607 \\ (-C) &= 3.83 \times 1.460 = 5.592 \times 2 = 11.184 \\ (-D) &= 3.83 \times 1.010 = 3.868 \times 2 = 7.736 \\ E &= 20.830 \times 1.80 = 37.494 \text{ SQM} \\ F &= 6.43 \times 8.34 = 53.626 \end{aligned}$$

$$\begin{aligned} G &= 1.67 \times 1.44 = 2.405 \times 1 = 2.405 \\ \text{NET TOTAL} &= (A + B + E + F + G) - (C + D) \\ &= (173.705 + 115.607 + 37.494 + 53.626 + 2.405) - (11.184 + 7.736) \\ &= (382.837 - 18.92) \\ &= 363.917 \text{ SQM} \end{aligned}$$

$$\begin{aligned} \text{GROUND FLOOR} &= (20.830 \times 10.589) \\ &= 220.589 \\ \text{1st TO 9 FLOOR} &= 363.917 \times 9 = 3275.253 \text{ SQM} \\ \text{TOTAL} &= 3495.842 \text{ SQM} \end{aligned}$$

L.I.G. ONE UNIT AREA = 46.476 SQM
E.W.S. ONE UNIT AREA = 32.50 SQM.

TOTAL ONE FLOOR LIFT, STAIRCASE AREA
EWS & LIG = 13.895 = 13.895 SQM
TOTAL AREA = 13.895 X 10 = 138.95 SQM

NET BUILT UP AREA
TOTAL BAR AREA + LIFT + STAIR CASE
(3495.842 + 138.95) = 3634.792 SQM

TOTAL RESIDENTIAL BAR = 3634.792 SQM

GROUND FLOOR AREA FOR COMMERCIAL = 118.369 SQM

NOTE :-

- (1) TOTAL BAR AREA = 3634.792 SQM
(2) GROUND COVERAGE AREA = 298.886 SQM

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: - B.A.R. DETAILS
BLOCK :- EWS/LIG

DRG NO:- 10



For Lords India (E) Pvt. Ltd.

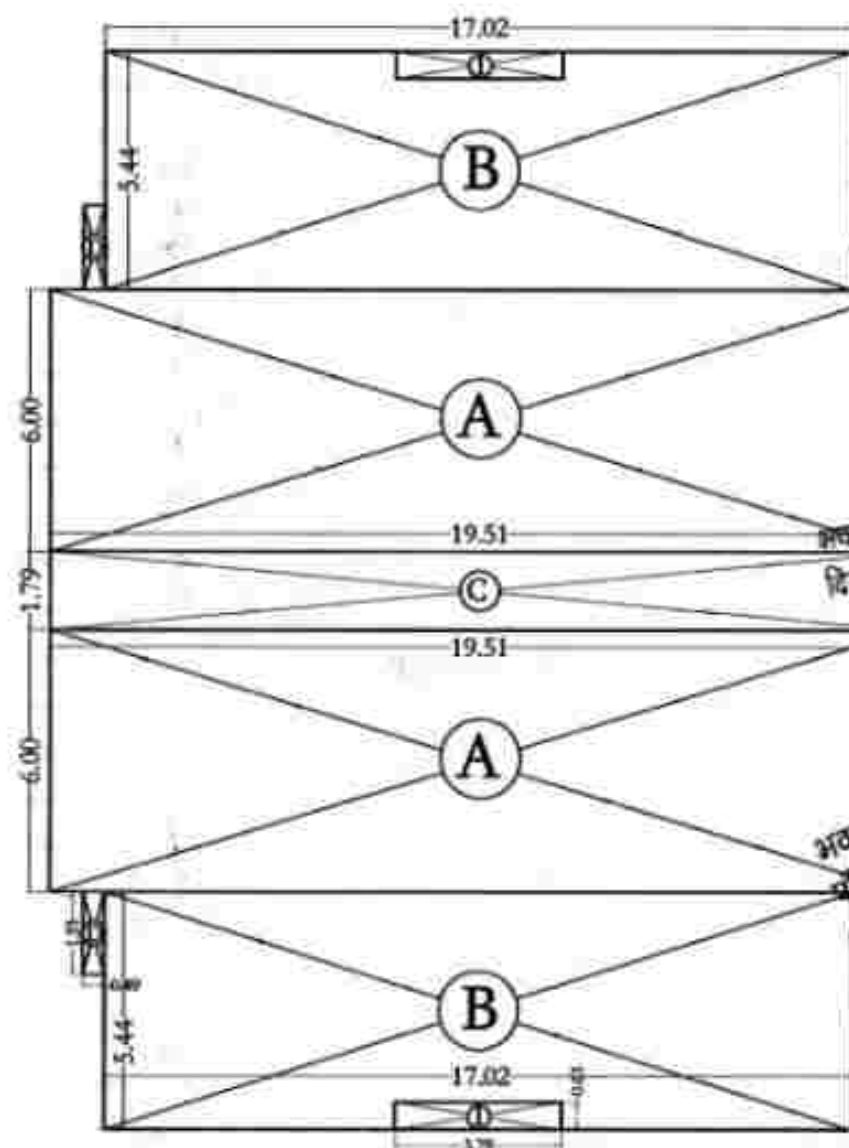
SIG. OF APPLICANT

SCALE: 1:170

ARCHITECT



SIG. OF ARCHITECT



B-5, B-6, B-7, B-8, B-9 & B-10



BUILT UP AREA
(LIFT+ STAIR CASE)

सहायक नगर नियोजक
नगर विकास विभाग, अलवर

उप नगर नियोजक
नगर विकास विभाग, अलवर

स्वीकृत

6/18

AREA STATEMENT (G+9) SQM.
3BHK (B5-B10)

A=19.51 X 6.00 = 117.06 X 2 = 234.120
B=17.02 X 5.44 = 92.589 X 2 = 185.178
C=19.51 X 1.79 = 34.923 X 1 = 34.923
D= 0.49 X 1.91 = 0.936 X 4 = 3.744
(-1)= 3.79 X 0.63 = 2.388 X 2 = 4.776
NET AREA= (A + B + C + D) - (-1)
= (457.965) - (4.776)
TOTAL AREA = 453.189 SQM

BUILT UP AREA FOR BLOCK B-5, B-6, B-7
GROUND FLOOR BAR AREA = 344.481 X 3 = 1033.443 SQM
BAR AREA FOR (1ST TO 10) FLOOR.
= 453.189 X 10 X 3 = 13595.67 SQM
TOTAL BAR = (1033.443 + 13595.67)
= 14629.113 SQM

BUILT UP AREA FOR BLOCK B-8, B-9, B-10
GROUND FLOOR BAR AREA = 344.481 X 3 = 1033.443 SQM
BAR AREA FOR (1ST TO 9) FLOOR.
= 453.189 X 9 X 3 = 12236.103 SQM

TOTAL BAR (G+9 FLOOR) = (12236.103 + 1033.443)
= 13269.546 SQM

अधिशायी अभियन्ता
नगर विकास विभाग, अलवर

सचिव
नगर विकास विभाग, अलवर

ONE UNIT AREA = 119.440 SQM.

BAR AREA FOR LIFT, STAIRCASE AREA.
BLOCK = ONE FLOOR ALL FLOOR
B-10 = 50.188 SQM = 501.88 SQM
B-9 = 4.240 SQM = 42.40 SQM
B-8 = 50.188 SQM = 501.88 SQM
B-7 = 4.240 SQM = 42.40 SQM
B-6, B-5 = 50.188 SQM = 552.068 SQM

NET RESIDENTIAL BAR AREA

BLOCK (B-5 + B-6 + B-7) + LIFT + STAIR CASE
= (14629.113 + 552.068 + 46.64)
= 15227.821 SQM

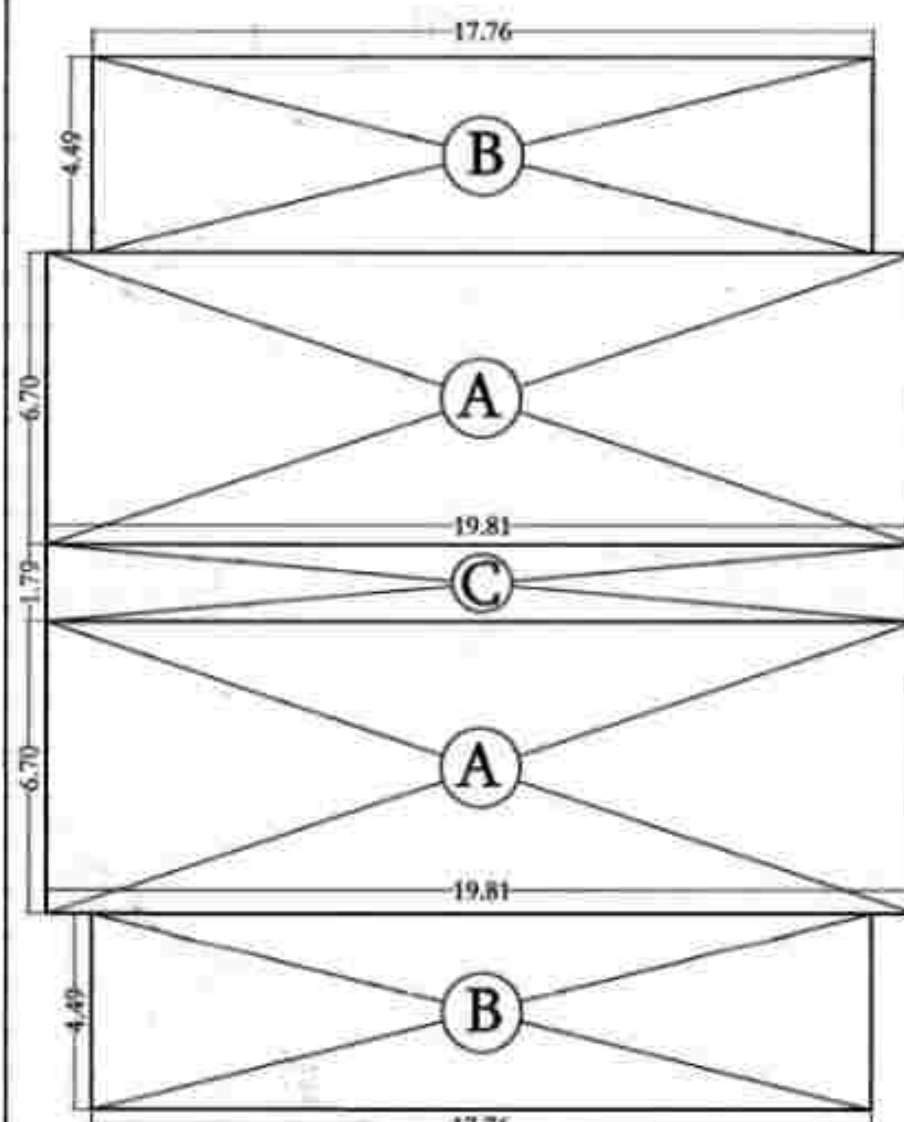
BLOCK (B-8 + B-9 + B-10) + LIFT + STAIR CASE
= (13269.546 + 501.88 + 42.40 + 501.88)
= 14315.706 SQM

TOTAL RESIDENTIAL BAR = 29543.527 SQM

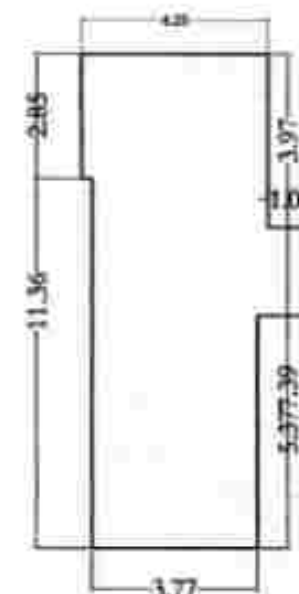
BAR AREA IN (COMMERCIAL) GROUND OF B-7, B-8, B-9, B-10
= (73.296 X 4) = 293.184 SQM

NOTE :-

(1) TOTAL BAR AREA = 29543.527 SQM
(2) GROUND COVERAGE AREA = 2331.864 SQM



B-11, B-12, B-13, B-14



BUILT UP AREA
(LIFT+ STAIR CASE)

AREA STATEMENT (G+9) SQM.
3BHK (B11-B14)

A=19.81 X 6.70 = 132.727 X 2 = 265.454
B=17.76 X 4.49 = 79.742 X 2 = 159.485
C=19.80 X 1.79 = 35.442

TOTAL AREA = 460.281 SQM

BUILT UP AREA FOR BLOCK B-11, B-12
GROUND FLOOR BAR AREA = 345.890 X 2 = 691.78 SQM
BAR AREA FOR (1ST TO 9) FLOOR.
= 460.281 X 9 X 2 = 8285.058 SQM
TOTAL BAR = (691.78 + 8285.058)
= 8976.838 SQM

BUILT UP AREA FOR BLOCK B-13
GROUND FLOOR BAR AREA = 213.237 SQM
BAR AREA FOR (1ST TO 9) FLOOR.
= 460.281 X 9 = 4142.529 SQM
TOTAL BAR (G+9 FLOOR) = (4142.529 + 213.237)
= 4355.766 SQM

ONE UNIT AREA = 127.024 SQM.

BUILT UP AREA FOR BLOCK B-14
GROUND FLOOR BAR AREA = 309.184 SQM
BAR AREA FOR (1ST TO 9) FLOOR.
= 460.281 X 9 = 4142.52 SQM
TOTAL BAR (G+9 FLOOR) = (4142.52 + 309.184)
= 4451.704 SQM

TOTAL ONE FLOOR LIFT, STAIRCASE AREA

B-13 = 47.160 SQM
B-12 = 6.140 SQM
B-11 = 52.403 SQM
B-14 = 7.073 SQM

NET RESIDENTIAL BUILT UP AREA

BLOCK (B-11 + B-12) + LIFT + STAIR CASE
= (8976.838 + 524.03 + 61.40) = 9562.268 SQM
BLOCK (13) + LIFT + STAIR CASE
= (4355.766 + 471.16) = 4826.926 SQM
BLOCK (14) + LIFT + STAIR CASE
= (4451.704 + 70.73) = 4522.434 SQM

TOTAL RESIDENTIAL BAR = 18911.628 SQM

BAR AREA FOR COMMERCIAL (B-11, B-12, B-13, B-14)
= (73.296 X 2 + 93.566) = 240.158 SQM

NOTE :-

(1) TOTAL BAR AREA = 18911.628 SQM
(2) GROUND COVERAGE AREA = 1685.214 SQM

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.: 9, 12, 13, 14, 18, 19, 65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: - F.A.R. DETAILS OF
BLOCK :- B-5 TO B-14

DRG NO:- 11



For Lords India (E) Pvt. Ltd.

SIG. OF APPLICANT

SCALE: 1:170



SIG. OF ARCHITECT

भवन निर्माण समिति को चैक
दिनांक 12/12/18

भवन निर्माण स्वीकृति से
पॉच वर्ष तक मान्य

स्वीकृत

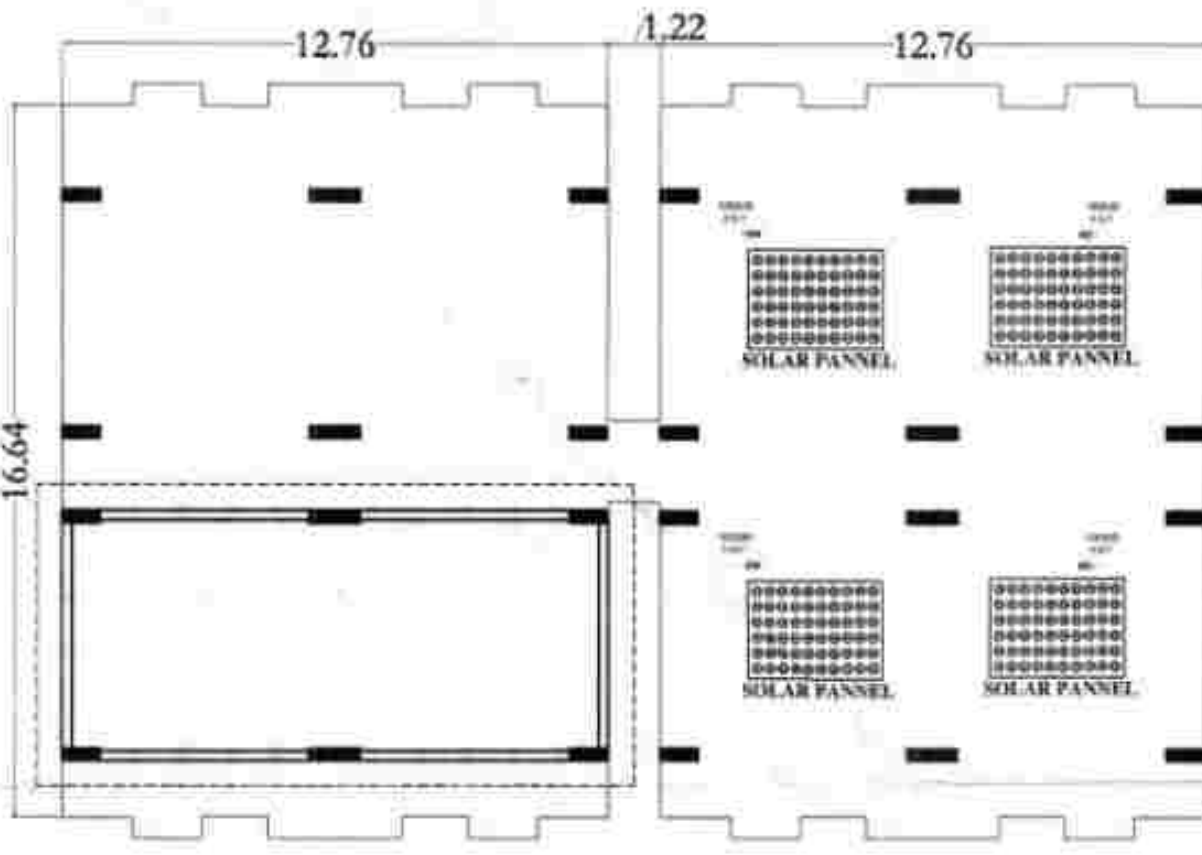
राजस्थान नगर नियोजक
नगर विकास प्रमंडल, अलवर
उप नगर नियोजक
नगर विकास प्रमंडल, अलवर
अधिराष्ट्रीय अभियंता
नगर विकास प्रमंडल, अलवर
सचिव
नगर विकास प्रमंडल, अलवर



GROUND FLOOR PLAN FOR A-1, A-2



ELEVATION -2
ELEVATION -1
FIRST TO SEVEN FLOOR PLAN FOR A-1
FIRST TO NINTH FLOOR PLAN FOR A-2



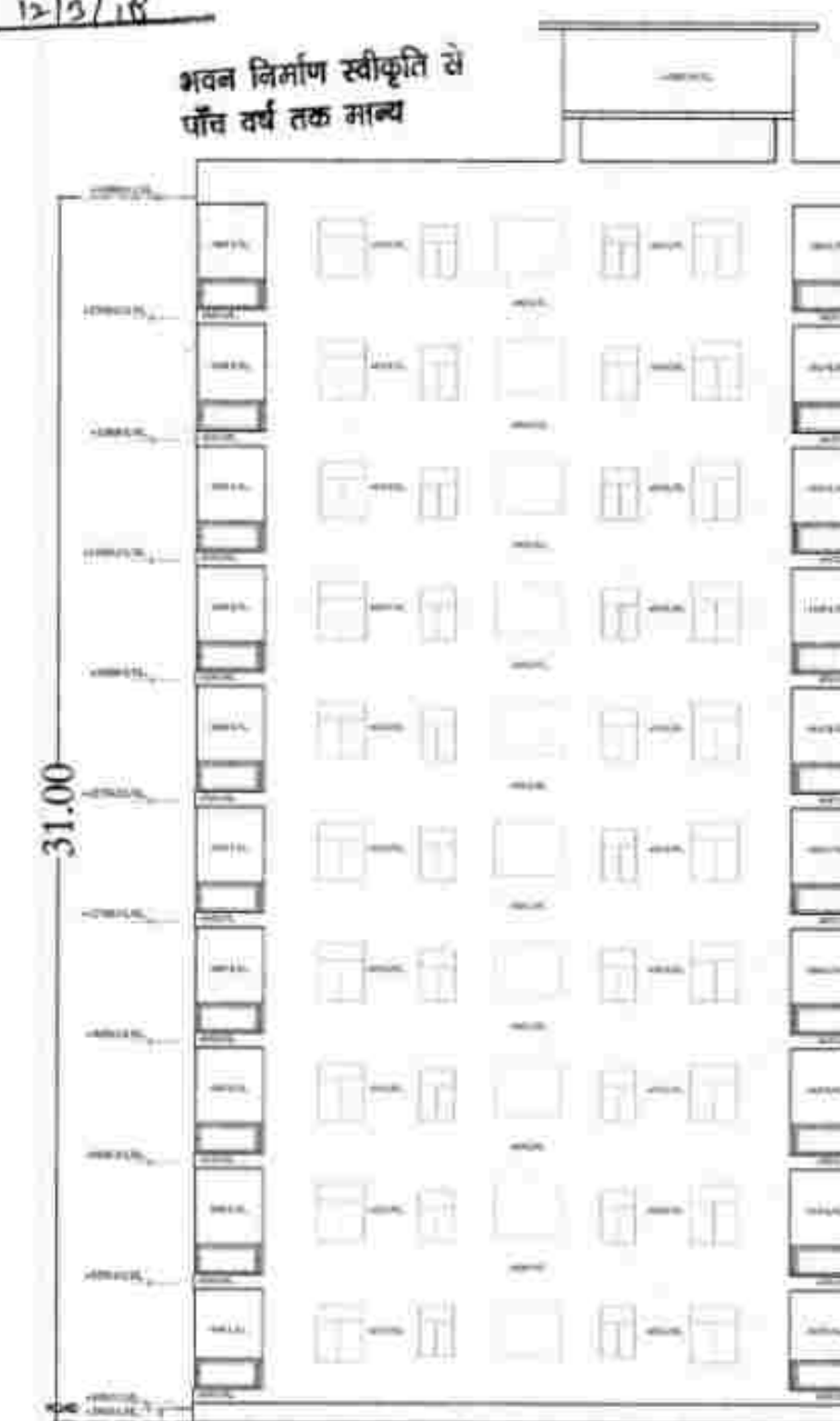
TARRACE FLOOR PLAN FOR A-1, A-2



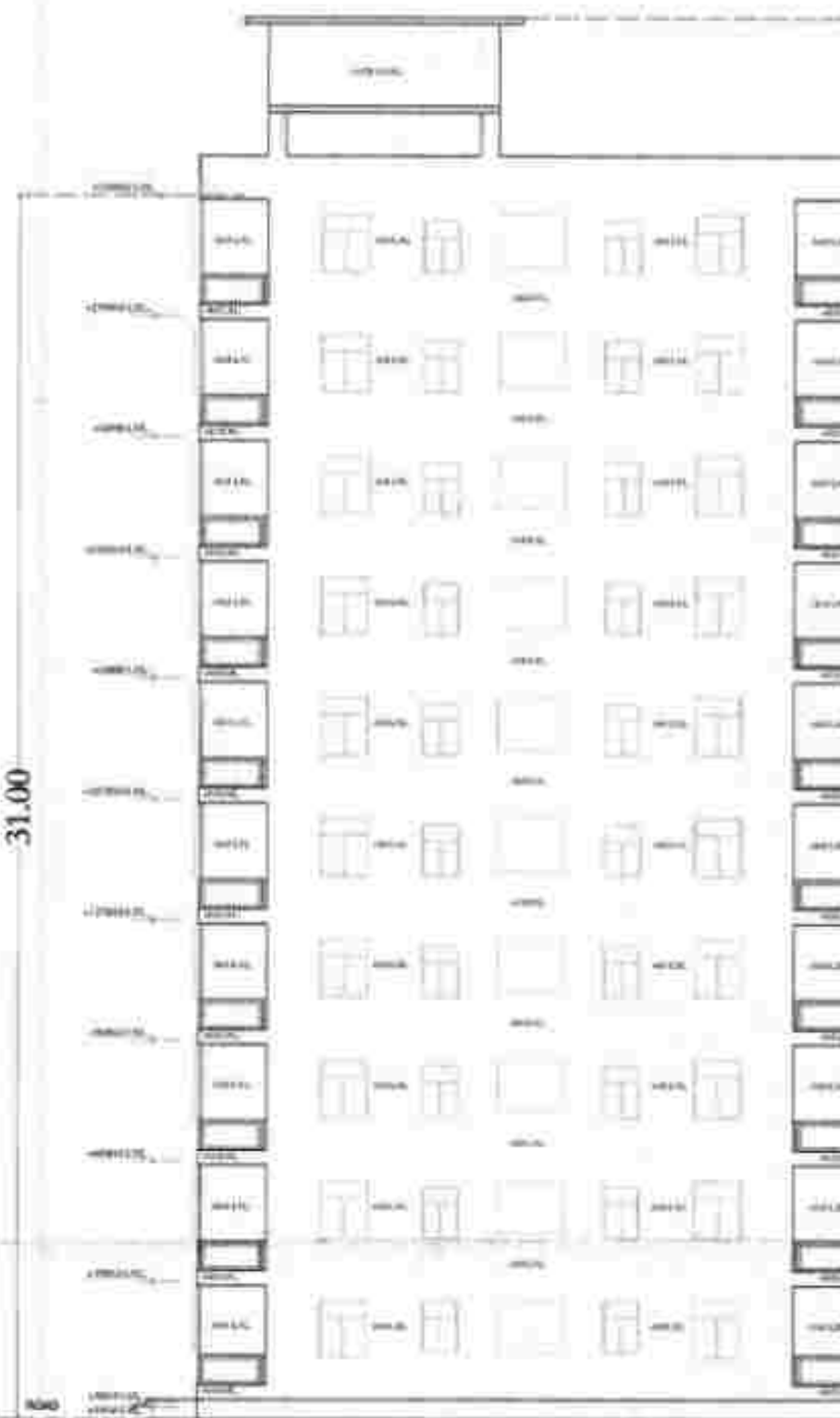
ELEVATION-1



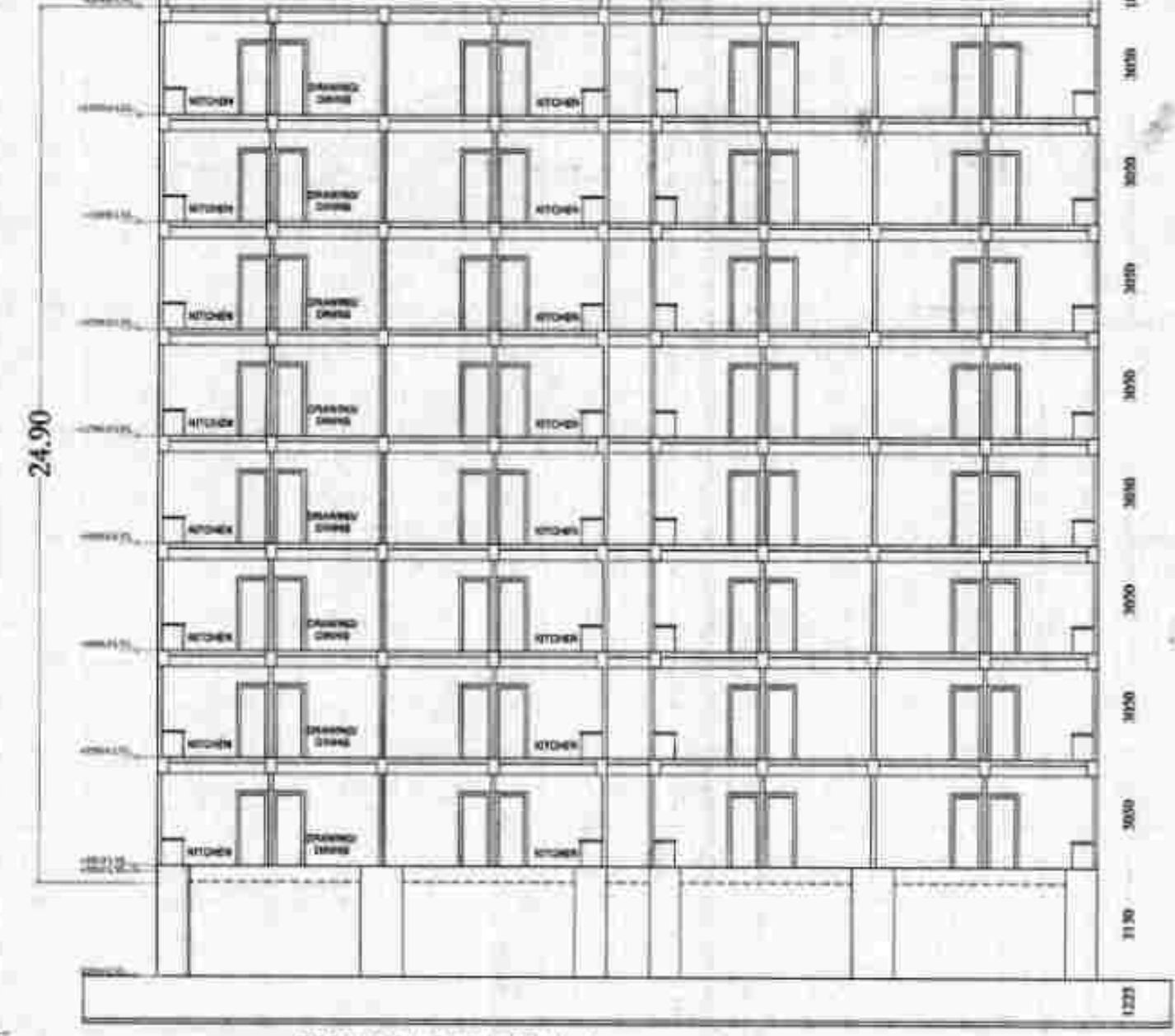
ELEVATION-2



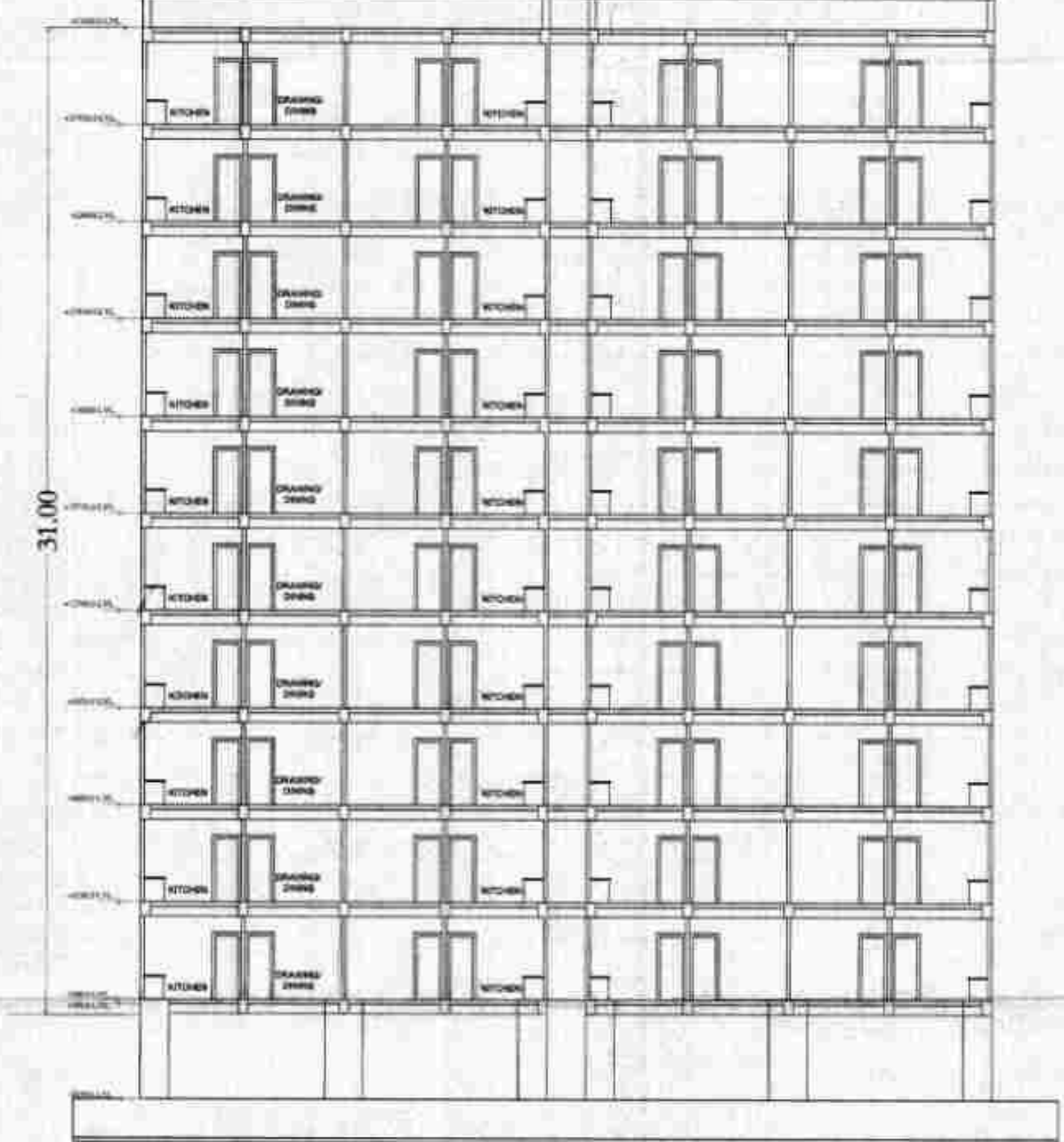
ELEVATION-3



ELEVATION-4



SECTION AT-XX FOR A-1



SECTION AT-XX FOR A-2

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO:-9,12,13,14,18,19,65
VILLAGE :- MANNKA TAH. -ALWAR

OWNER :-

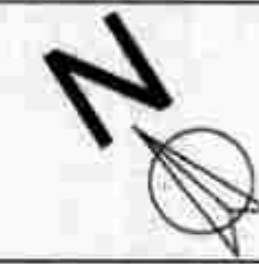
MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: -

ELEVATION & SECTION
DETAILS OF BLOCK
A-1, A-2

DRG NO:-

12



For Lords India (E) Pvt. Ltd.

SIG. OF APPLICANT

SCALE: 1:170

ARCHITECT



SIG. OF ARCHITECT

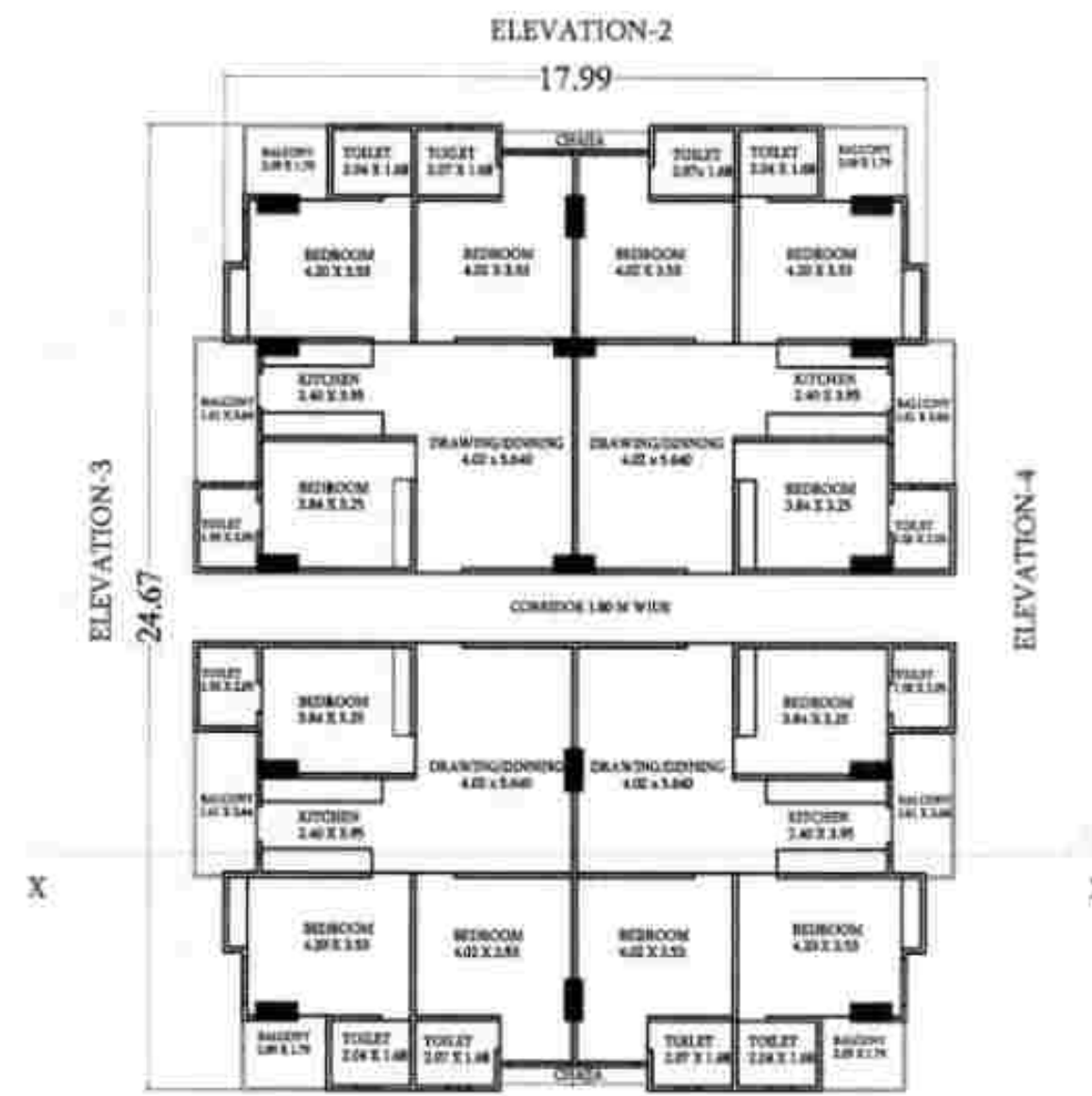
भवन निर्माण समिति की बैठक
दिनांक 12/2/18
भवन निर्माण स्वीकृति से
पूँच वर्ष तक मान्य

स्वीकृत

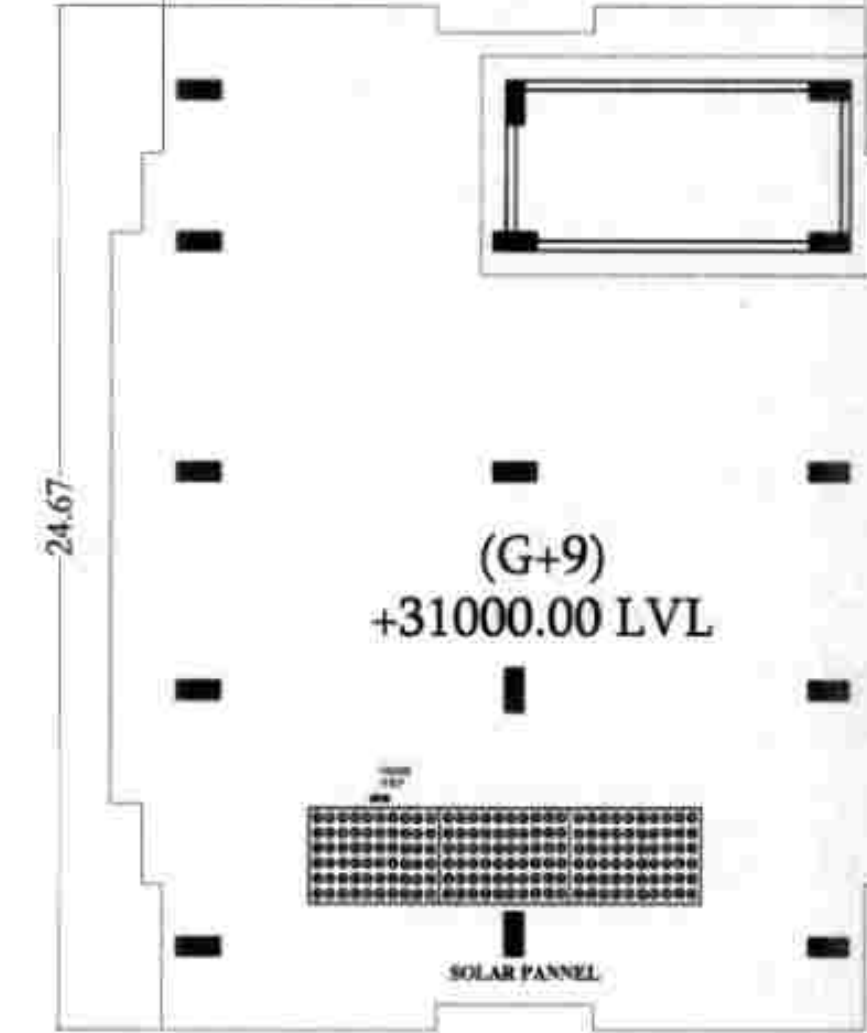
12/2/18
सहयुक्त नगर मियोजक
नगर विकास ब्यूरो, अलवर
उप नगर मियोजक
नगर विकास ब्यूरो, अलवर
17.02
अधिकापी अभियन्ता
नगर विकास ब्यूरो, अलवर
02-1
सचिव
नगर विकास ब्यूरो, अलवर



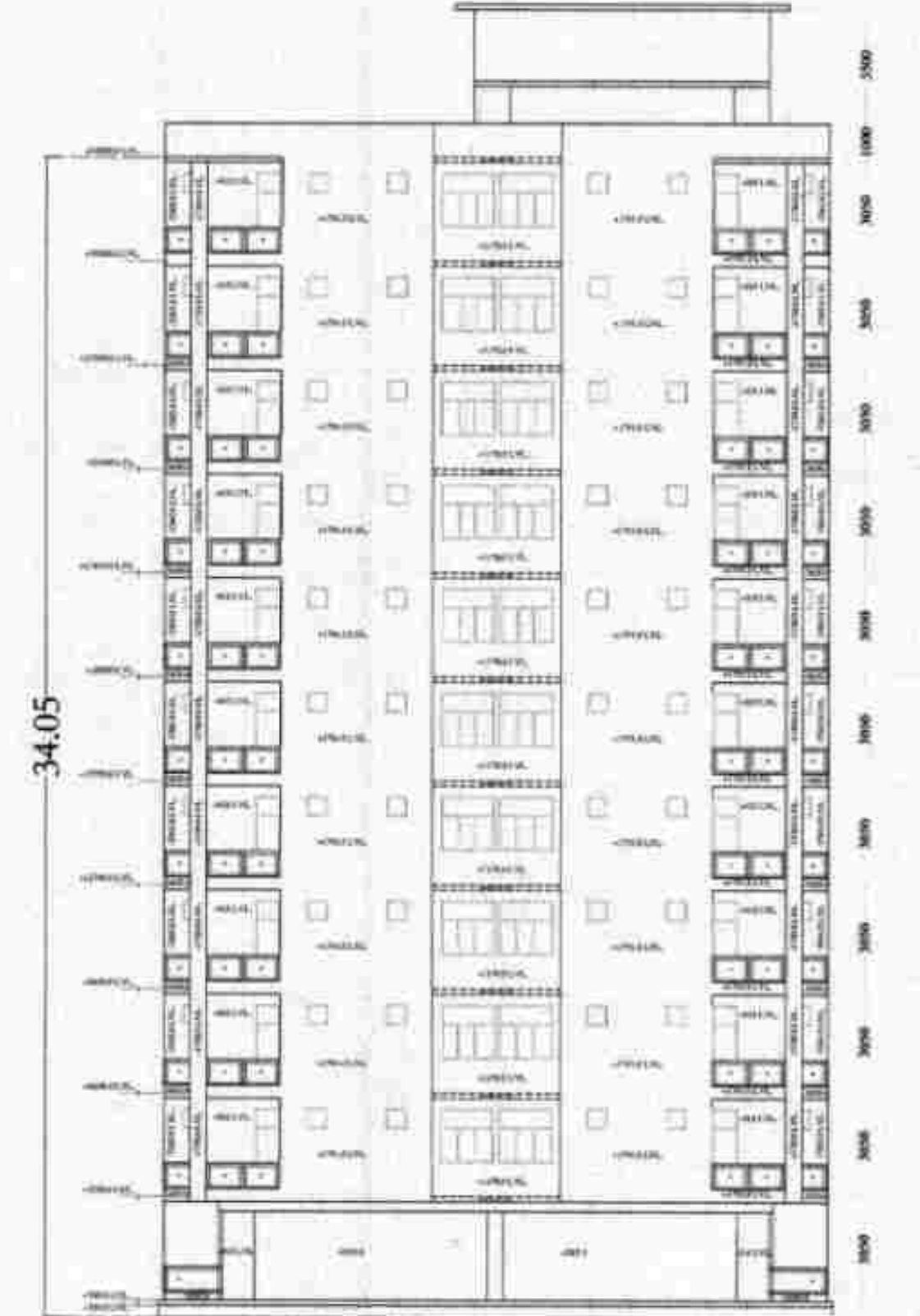
GROUND FLOOR PLAN



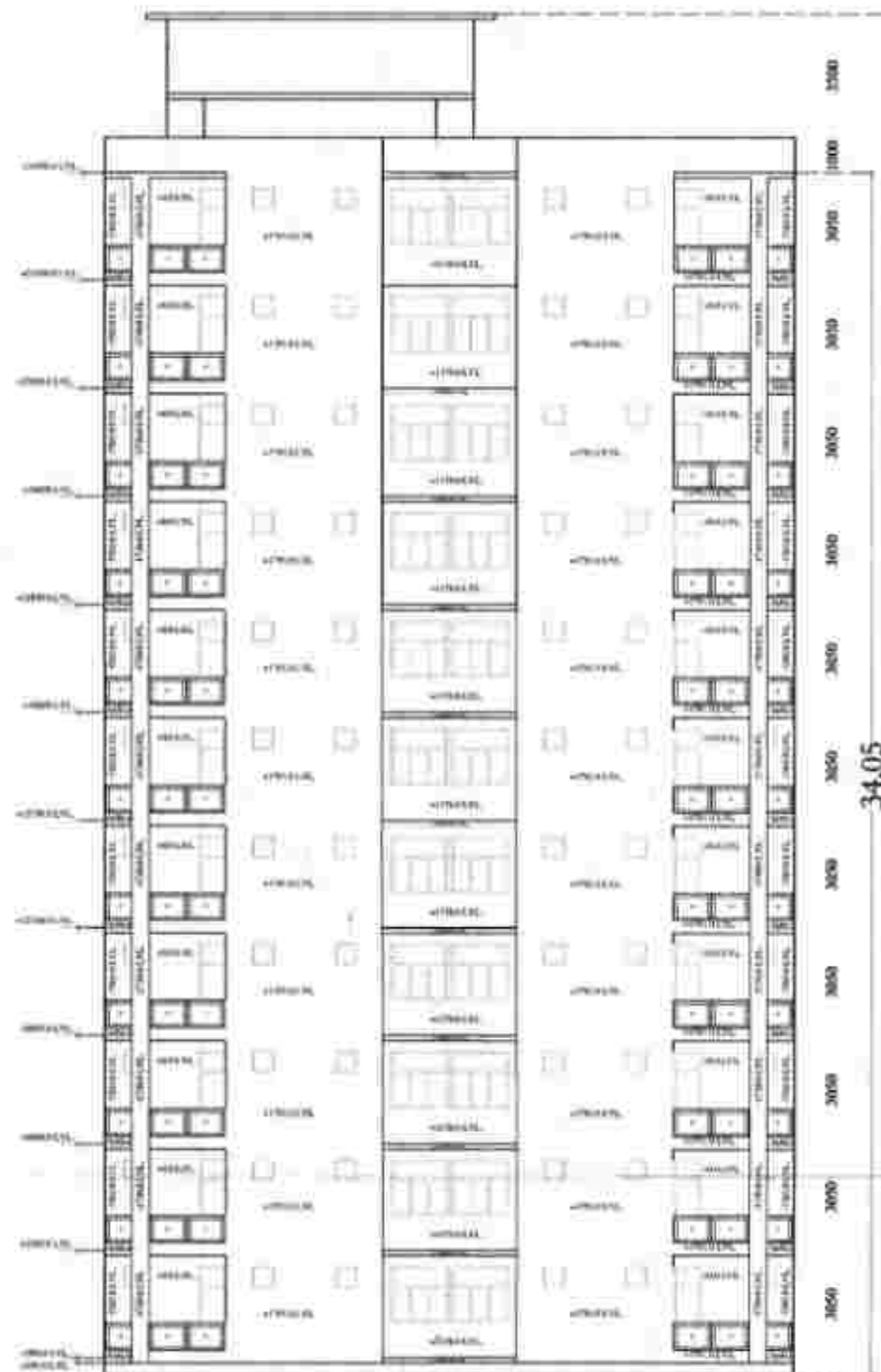
FIRST TO NINTH FLOOR PLAN



TERRACE FLOOR PLAN



ELEVATION-1



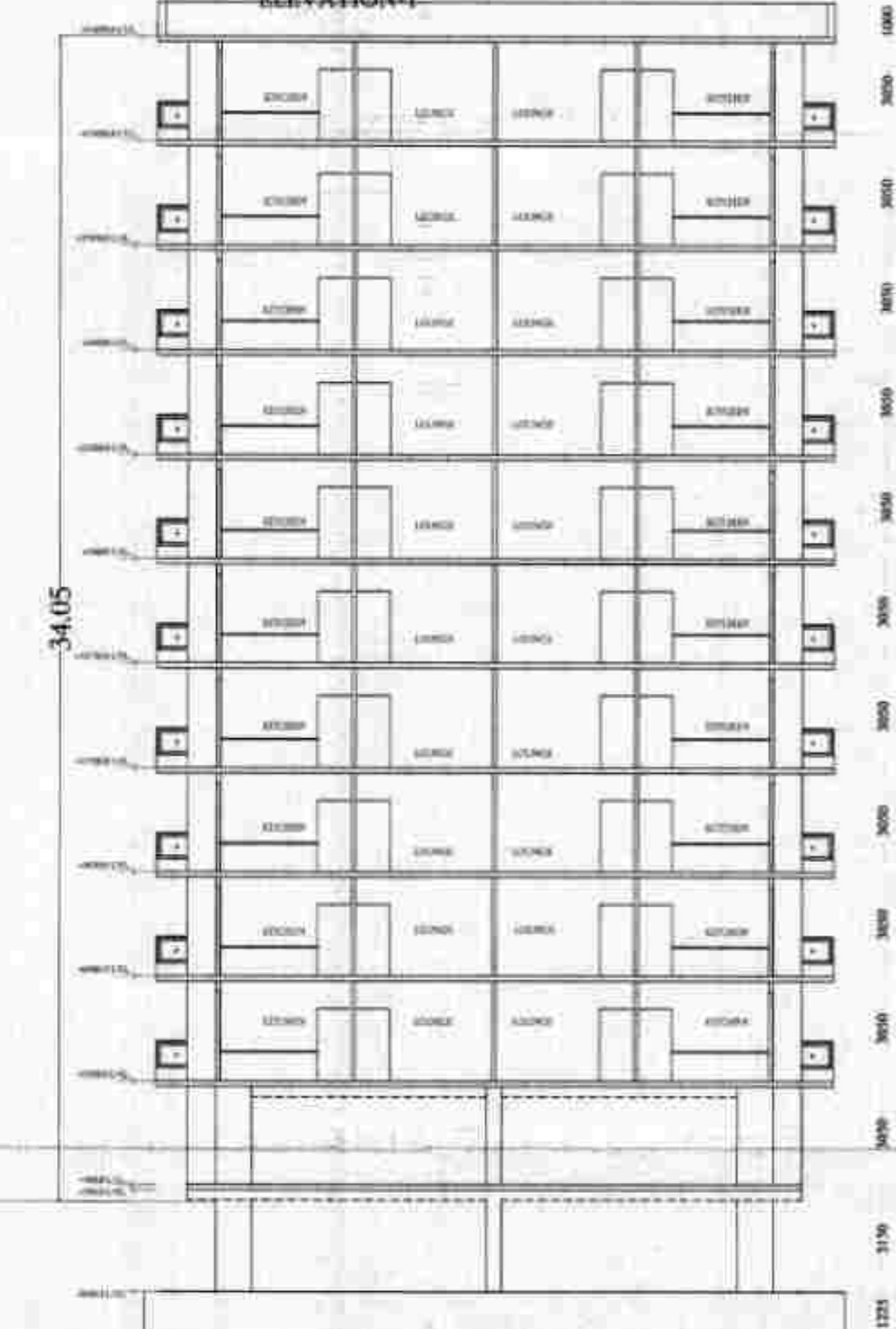
ELEVATION-2



ELEVATION-3



ELEVATION-4



SECTION AT X-X

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE:-

ELEVATION & SECTION
DETAILS OF BLOCK
B-5,B-6,

DRG NO:- 13



For Lords India (E) Pvt. Ltd.

SIG. OF APPLICANT

SCALE: 1:170

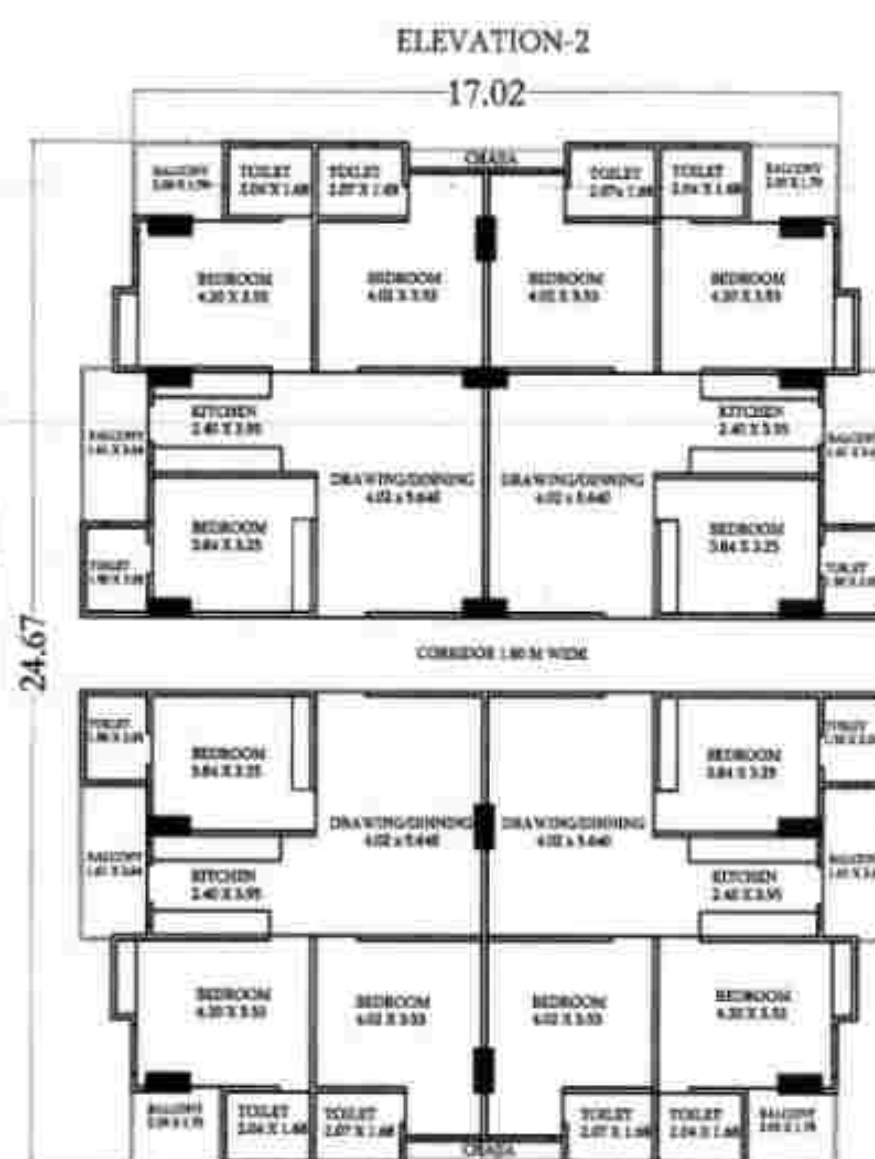
ARCHITECT



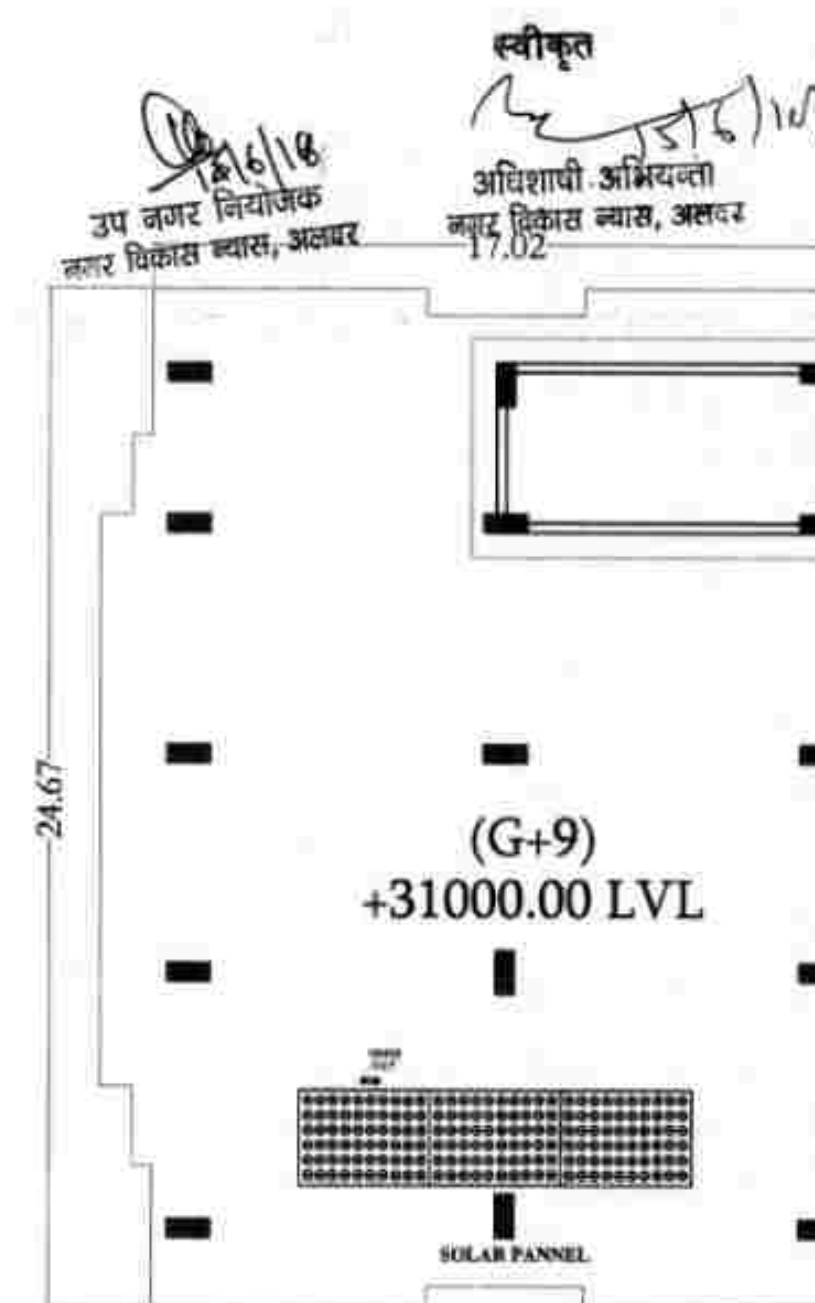
SIG. OF ARCHITECT



GROUND FLOOR PLAN



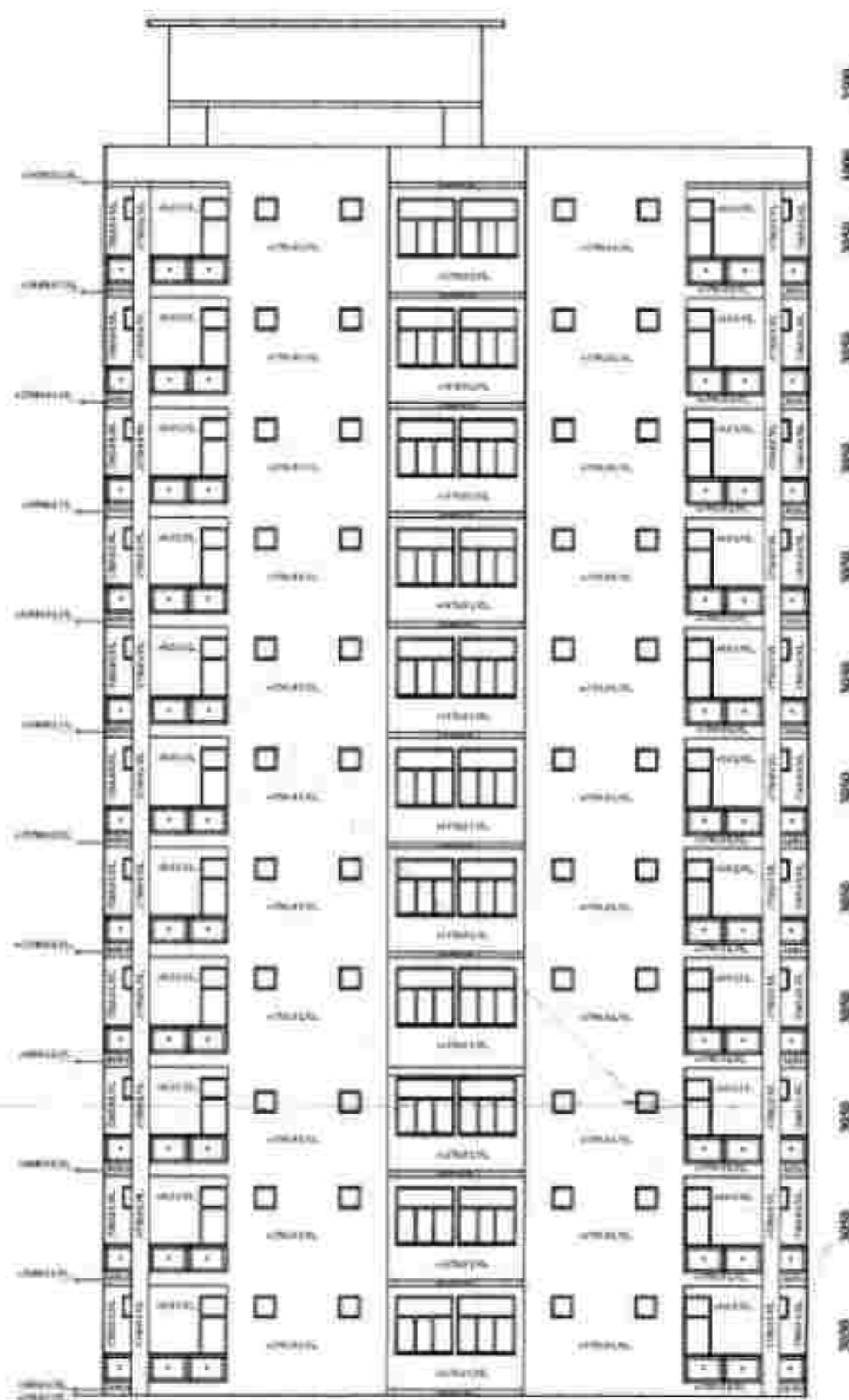
FIRST TO NINTH FLOOR PLAN



TERRACE FLOOR PLAN



ELEVATION-1



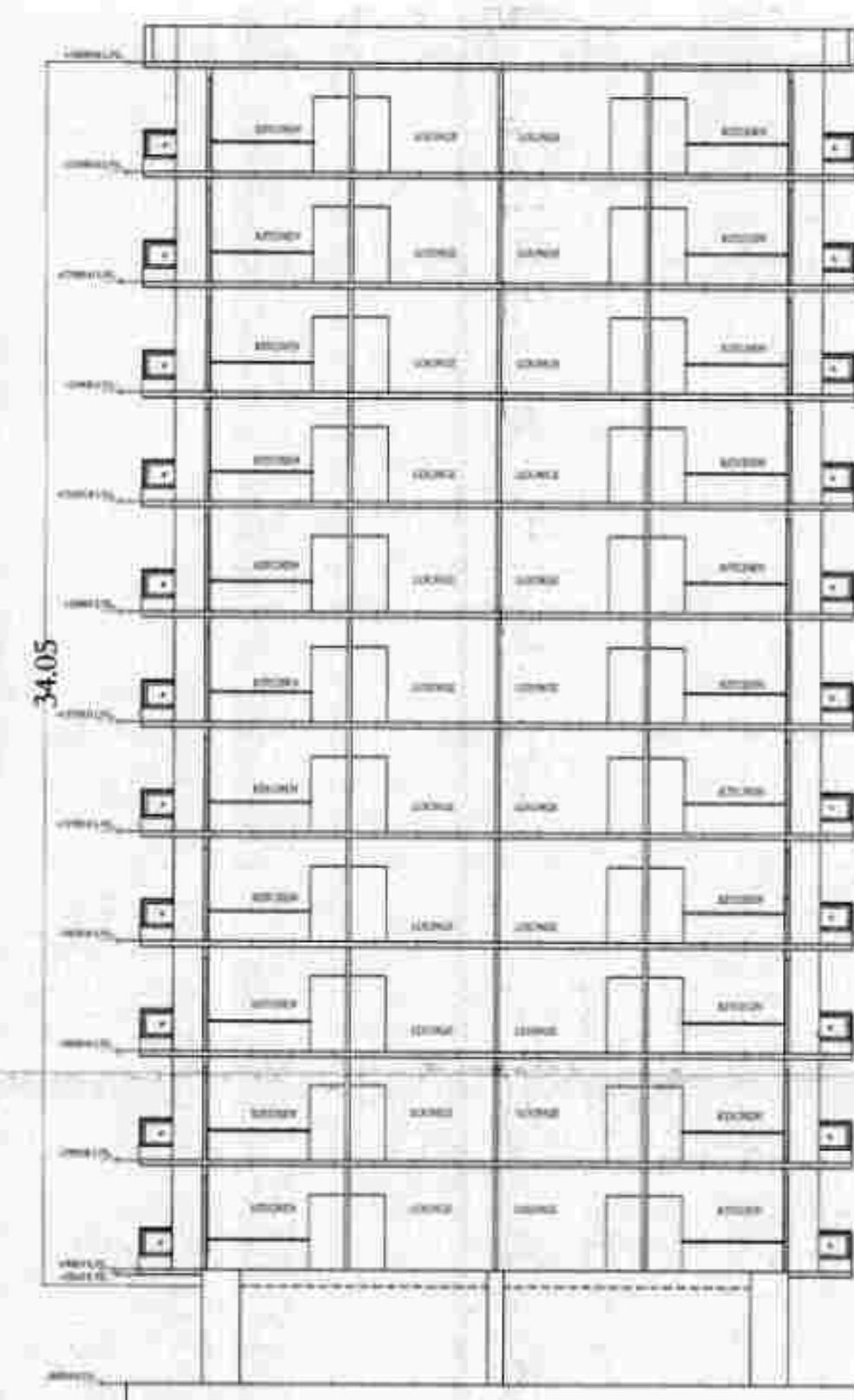
ELEVATION-2



ELEVATION-3



ELEVATION-4



SECTION AT X-X

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: -

ELEVATION & SECTION
DETAILS OF BLOCK
B-7

DRG NO:-

14



SIG. OF APPLICANT

SCALE: 1:170

ARCHITECT



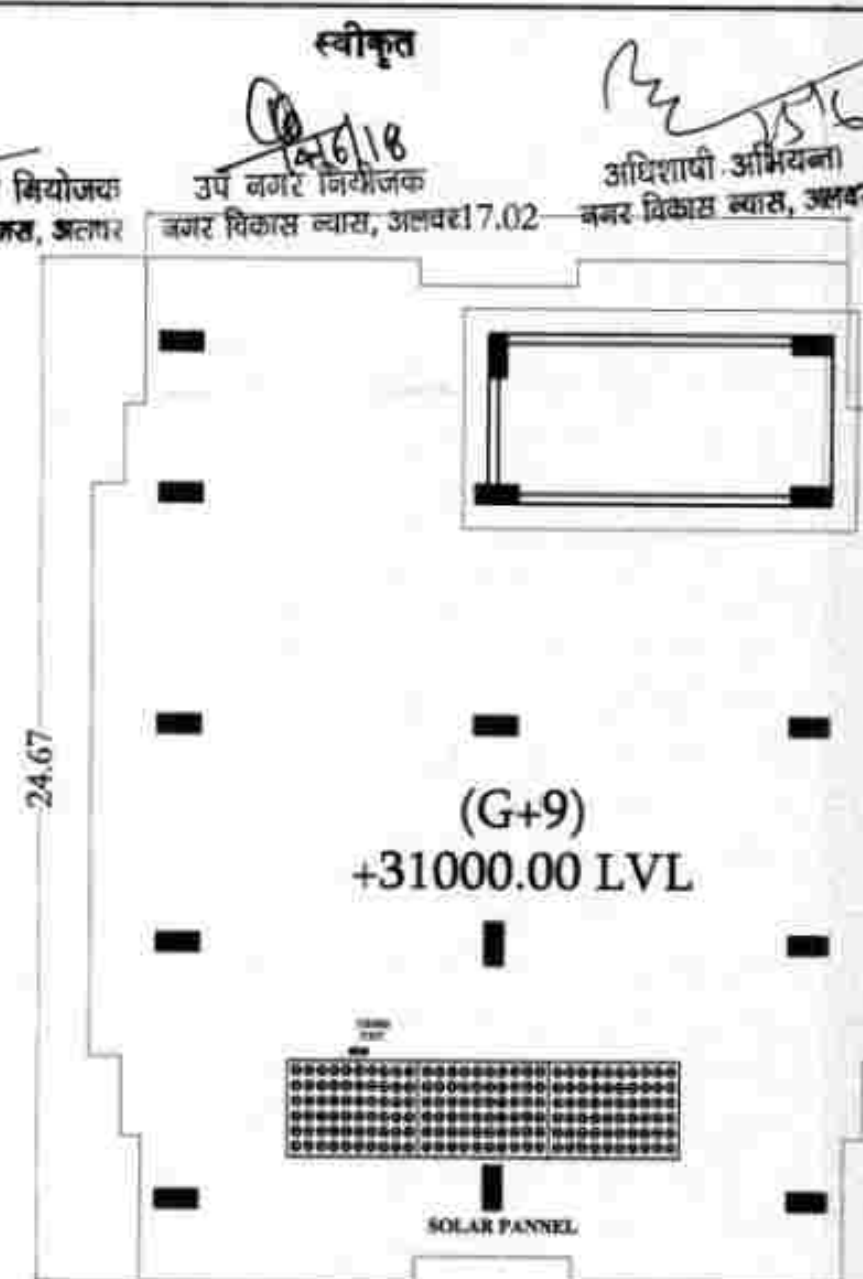
SIG. OF ARCHITECT



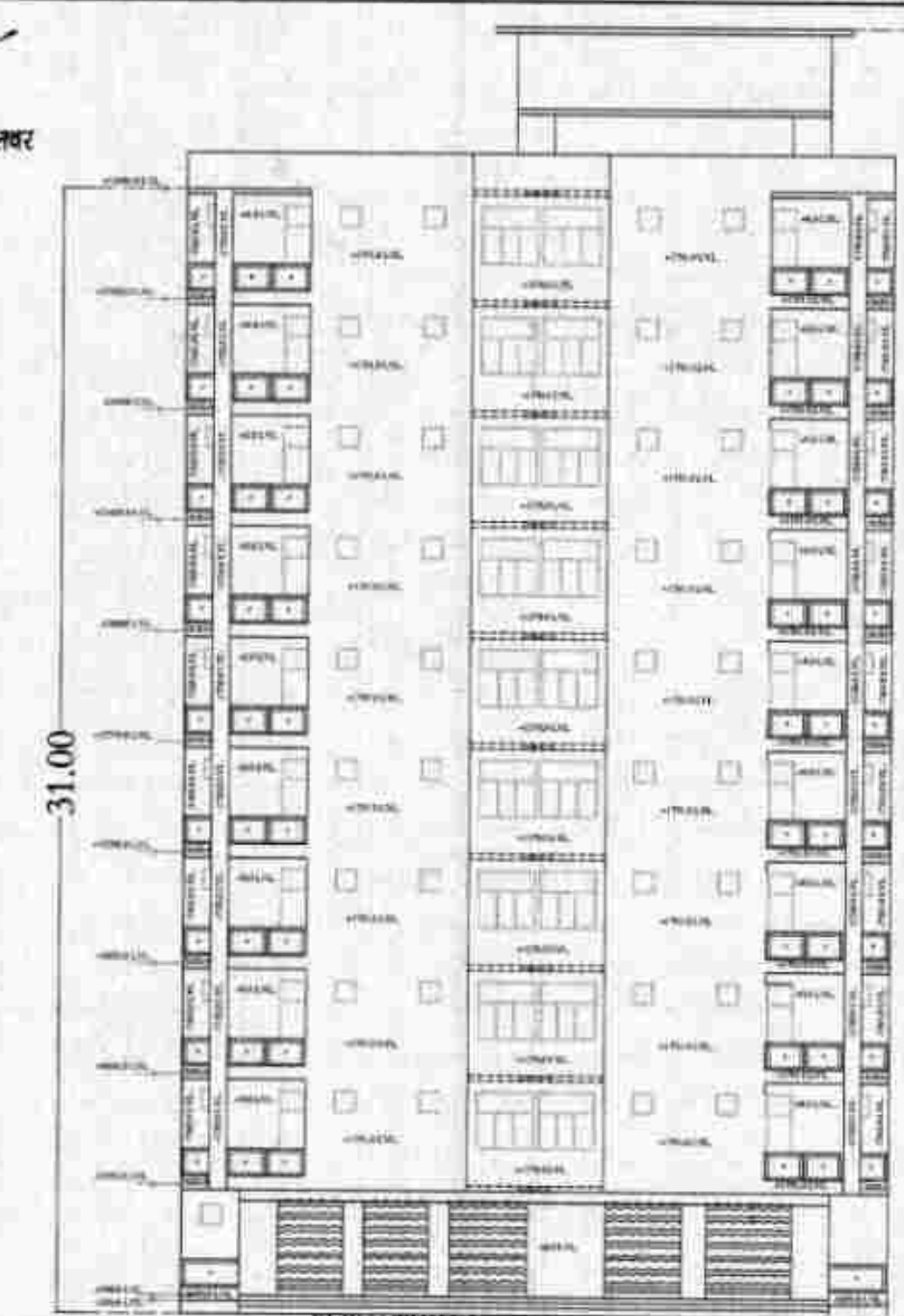
GROUND FLOOR PLAN



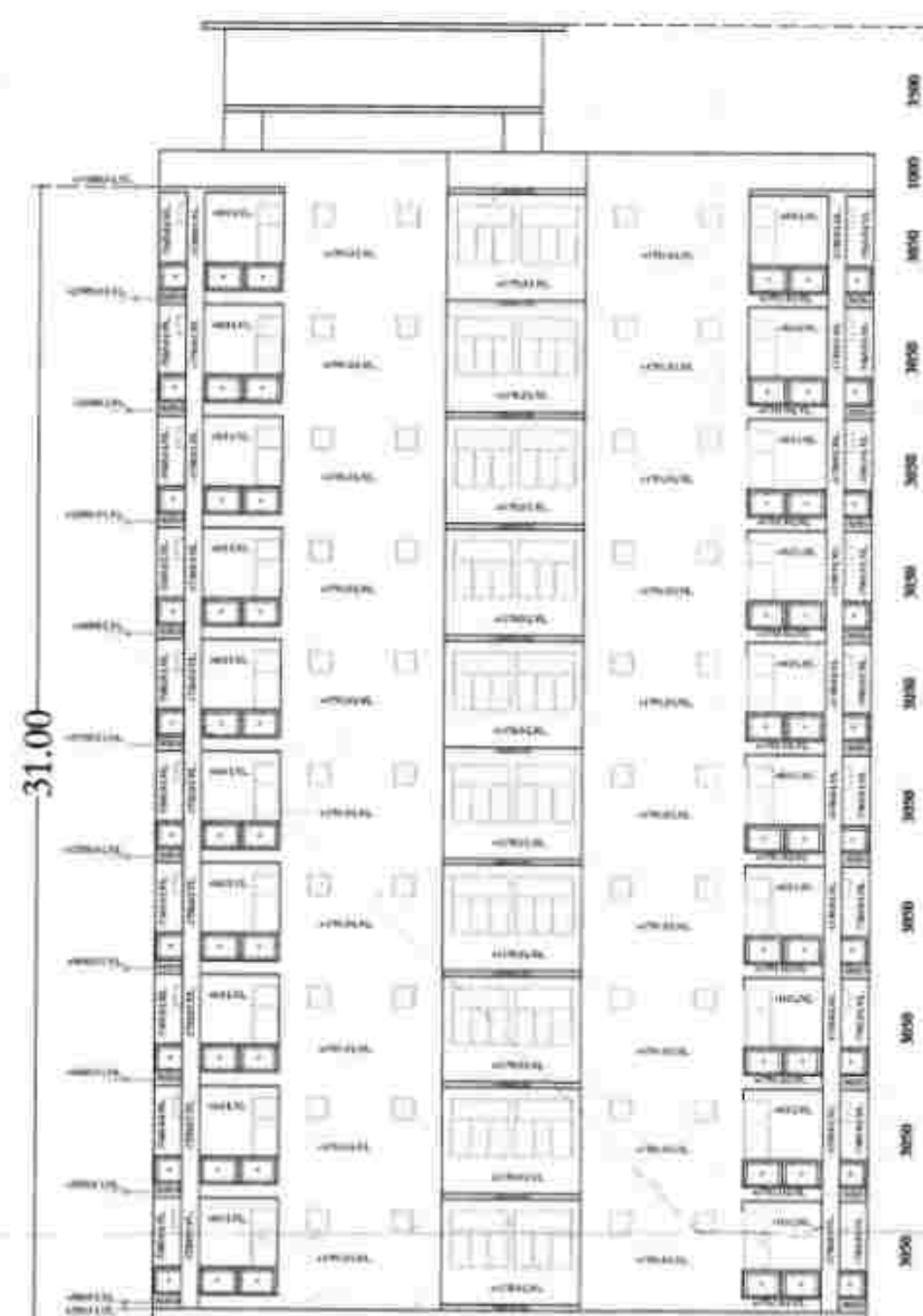
FIRST TO NINTH FLOOR PLAN



TERRACE FLOOR PLAN



ELEVATION-1



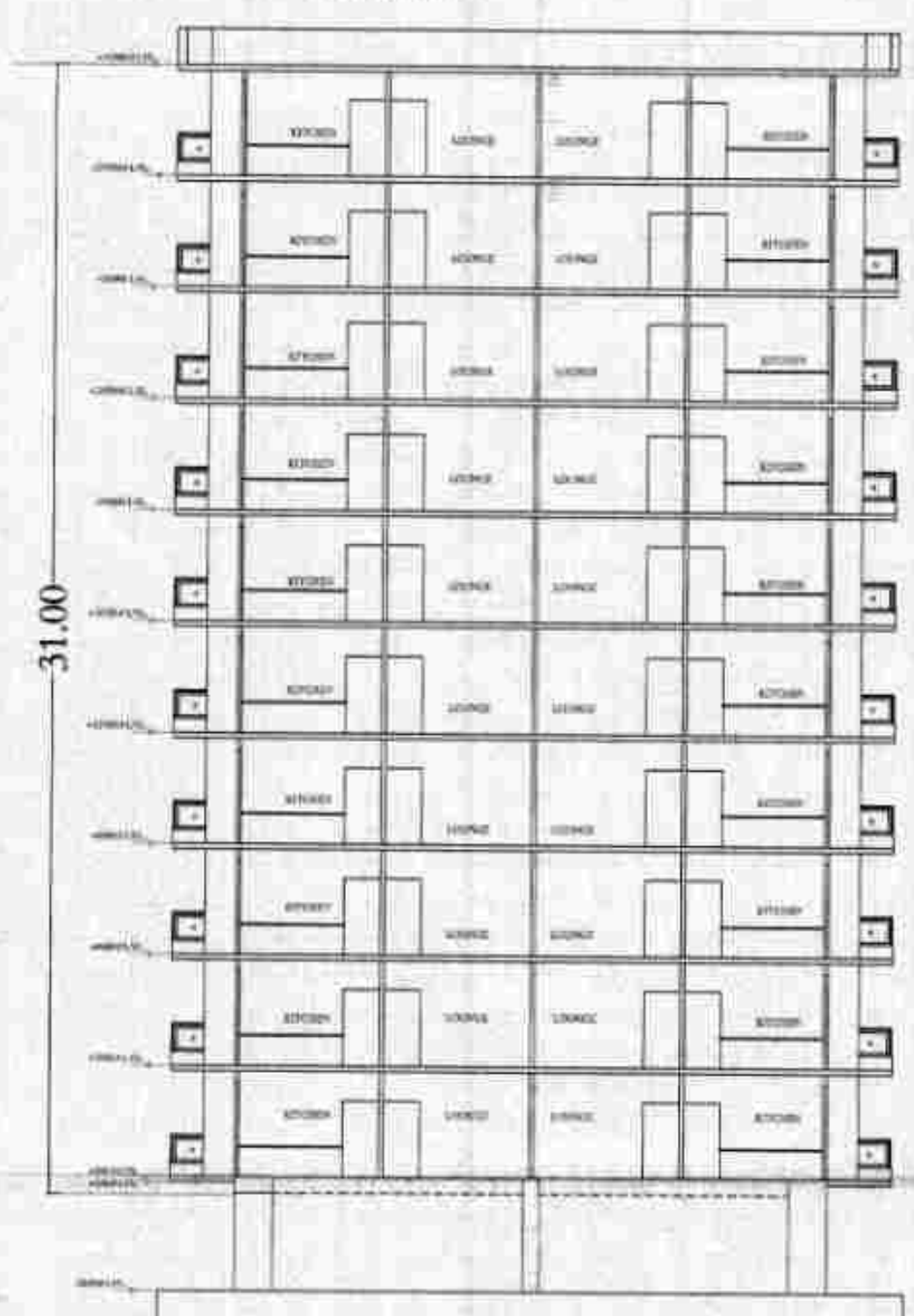
ELEVATION-2



ELEVATION-3



ELEVATION-4



SECTION AT X-X

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: -

ELEVATION & SECTION
DETAILS OF BLOCK
B-8, B-9, B-10

DRG NO:- 15



SCALE:
1:265

ARCHITECT

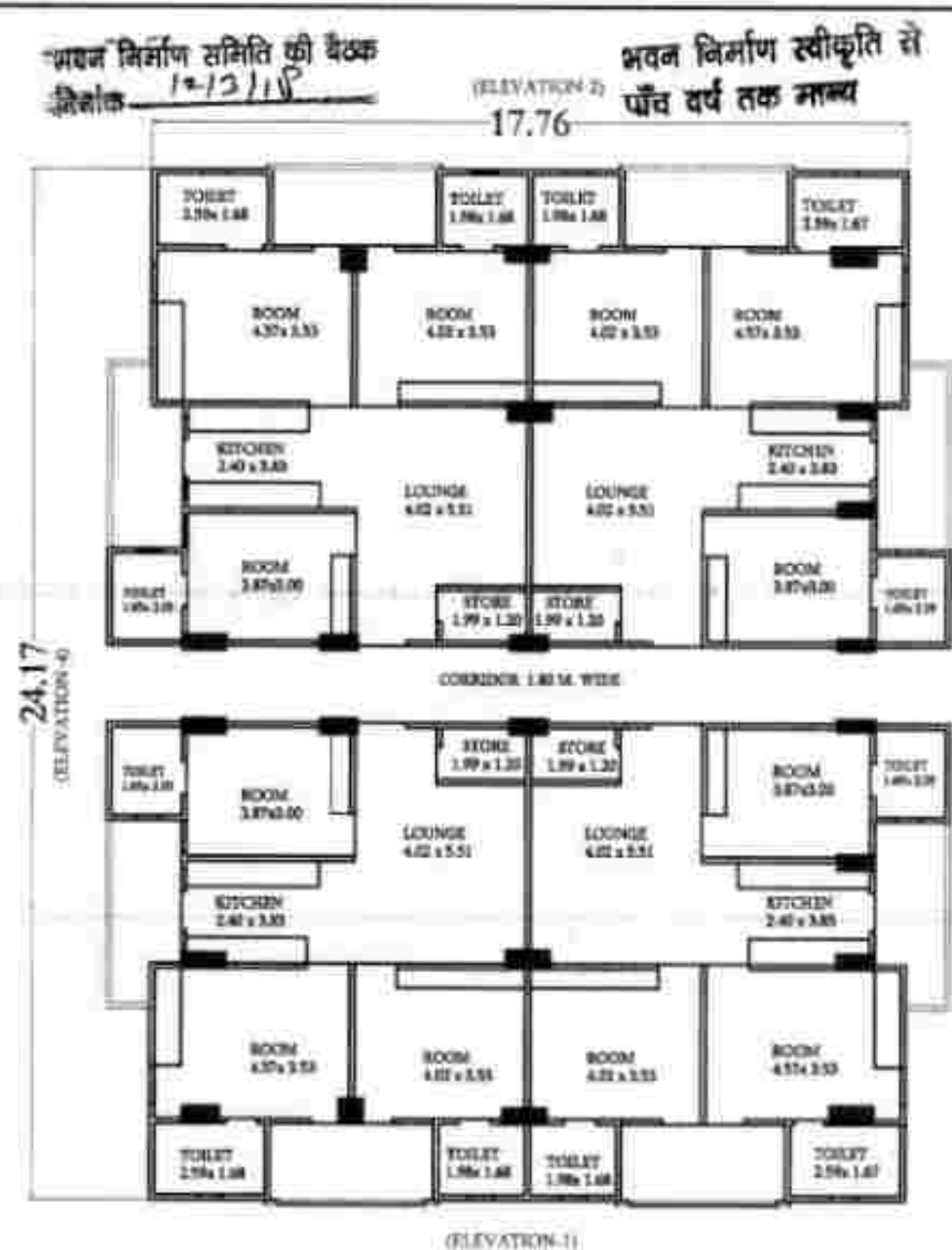


SIG. OF ARCHITECT

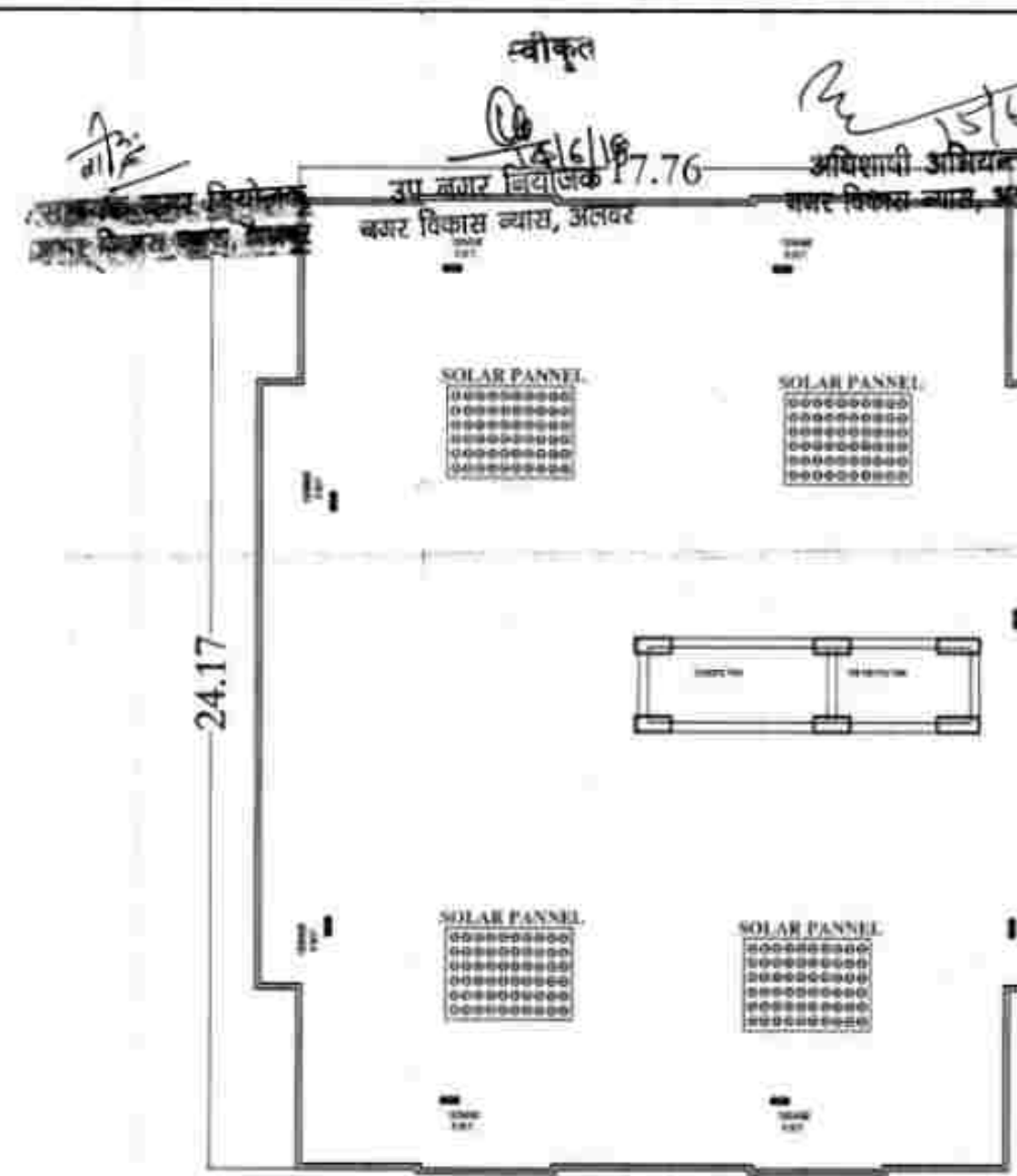
Director
SIG. OF APPLICANT



GROUND FLOOR PLAN



TYPICAL (1ST TO 9TH FLOOR) PLAN (3BHK)



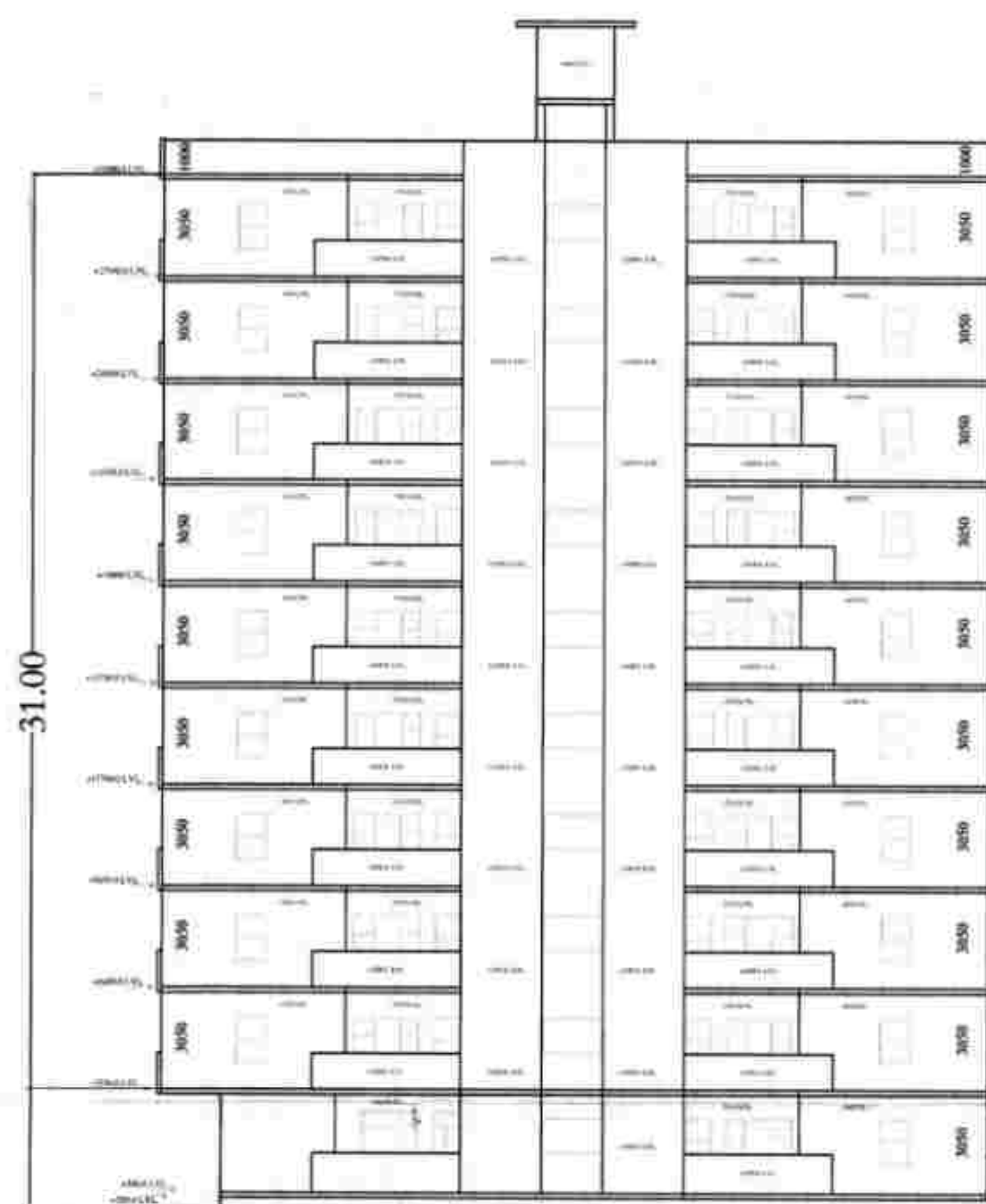
TERRACE FLOOR PLAN



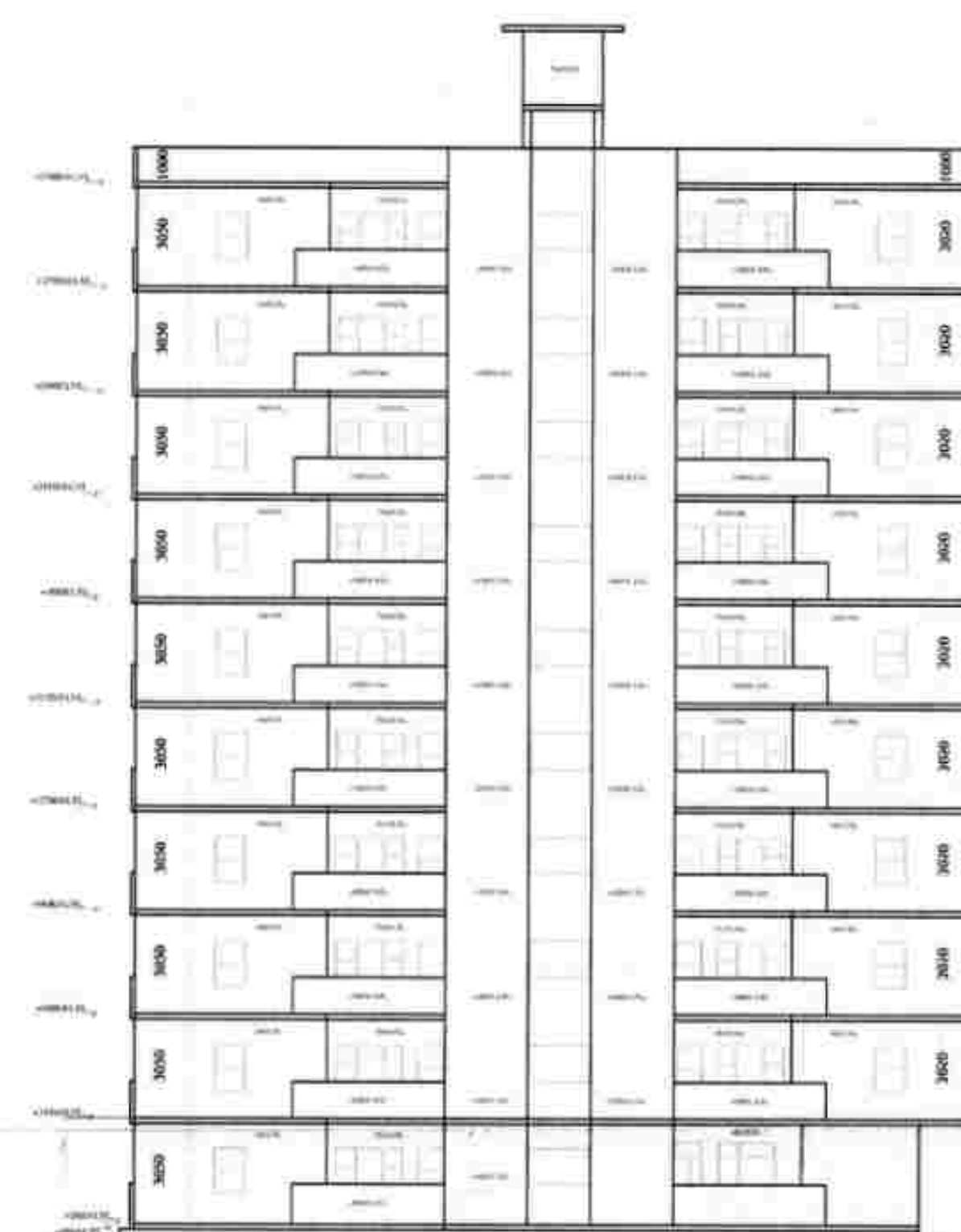
ELEVATION-1



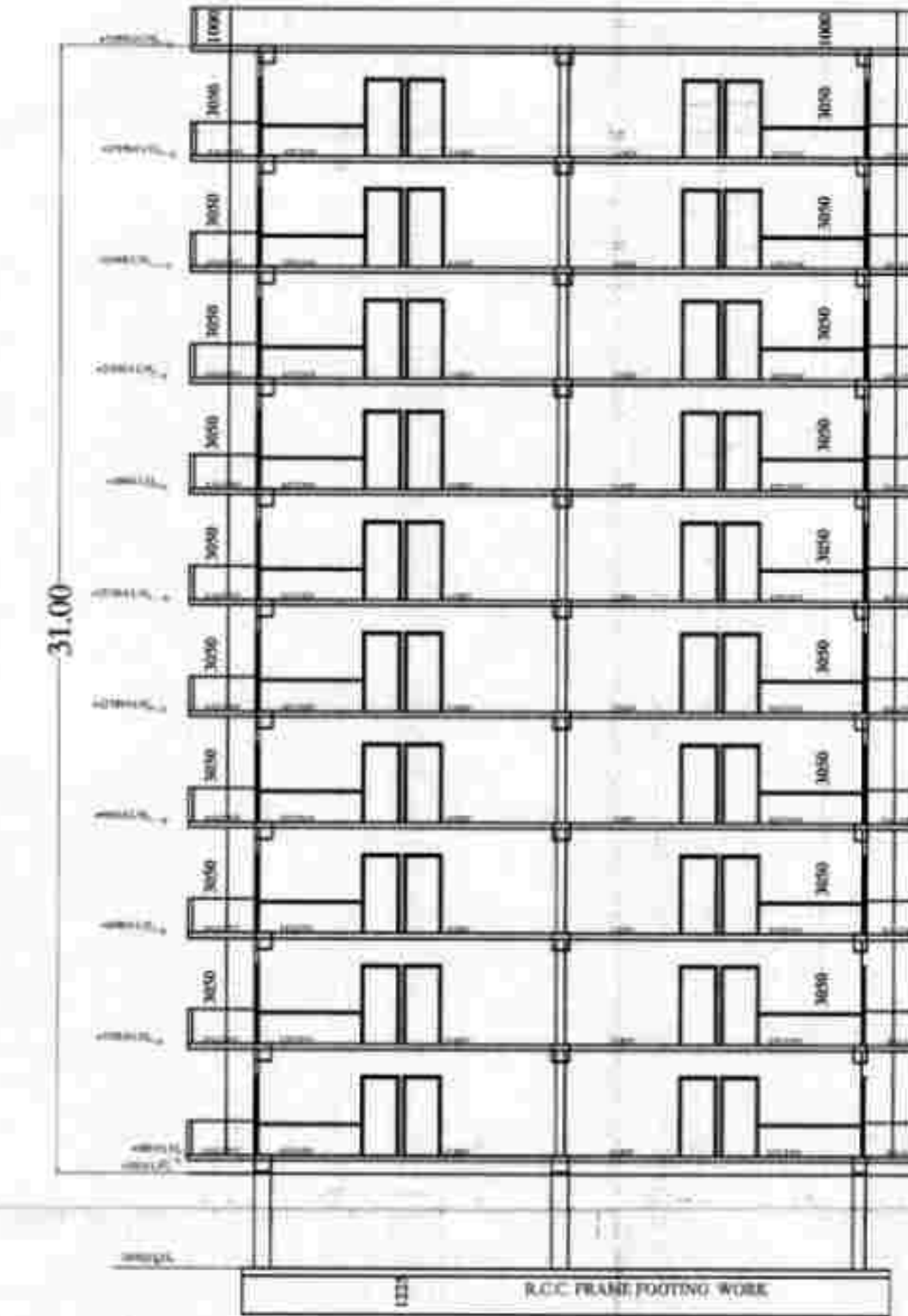
ELEVATION-2



ELEVATION-3



ELEVATION-4



SECTION AT X-X

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: -

ELEVATION & SECTION
DETAILS OF BLOCK B-11,B-12
B-13, B-14

DRG NO:- 16

SCALE: 1:170



For Lords India (E) Pvt. Ltd.

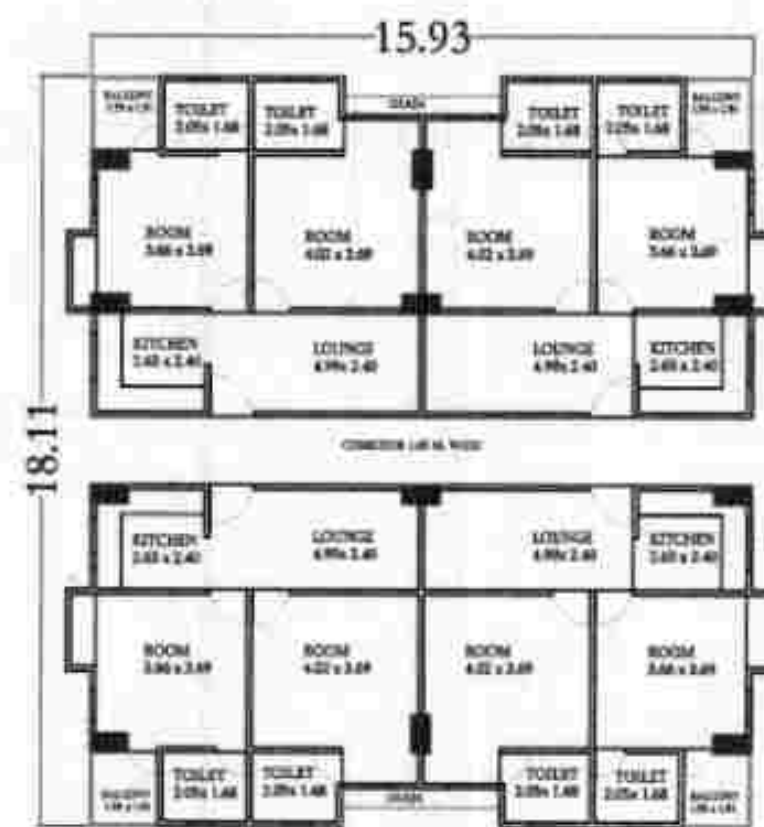
Director

SIG. OF APPLICANT

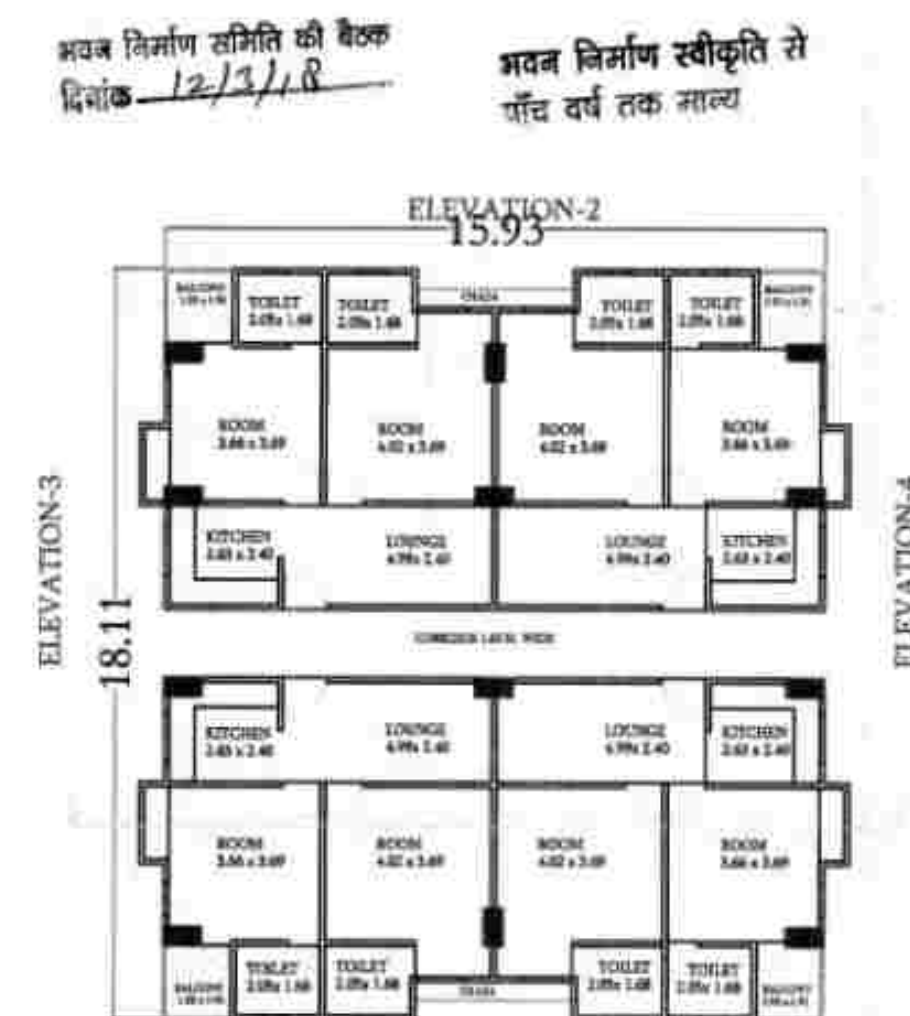
ARCHITECT



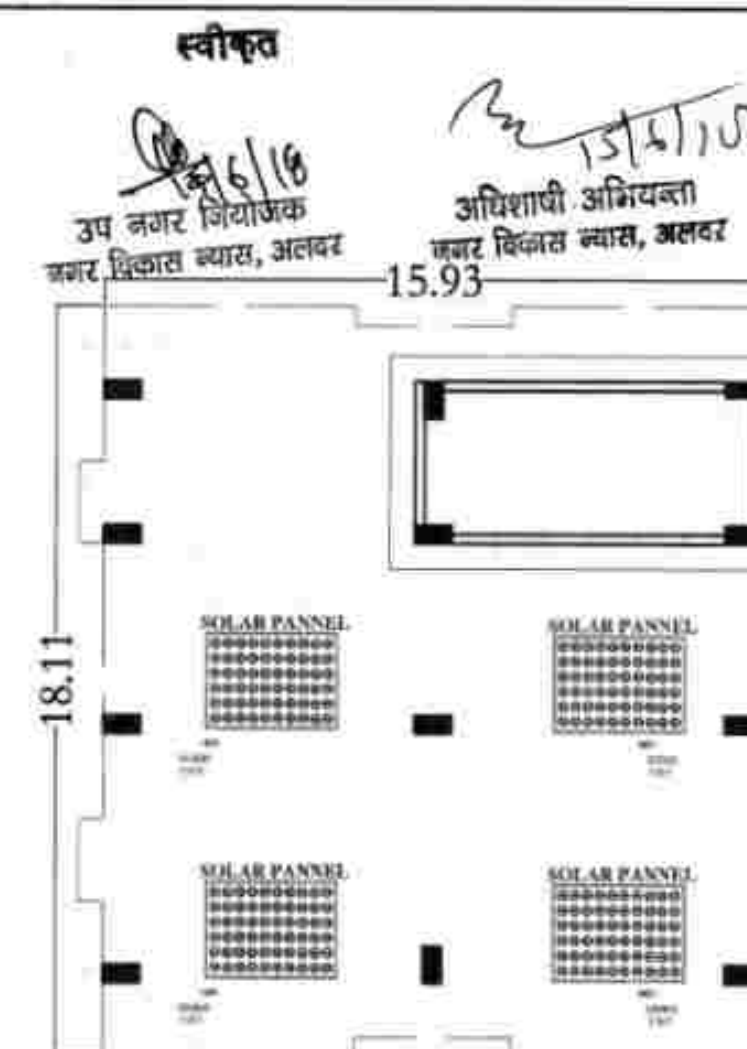
SIG. OF ARCHITECT



GROUND FLOOR PLAN



FIRST TO NINTH FLOOR PLAN



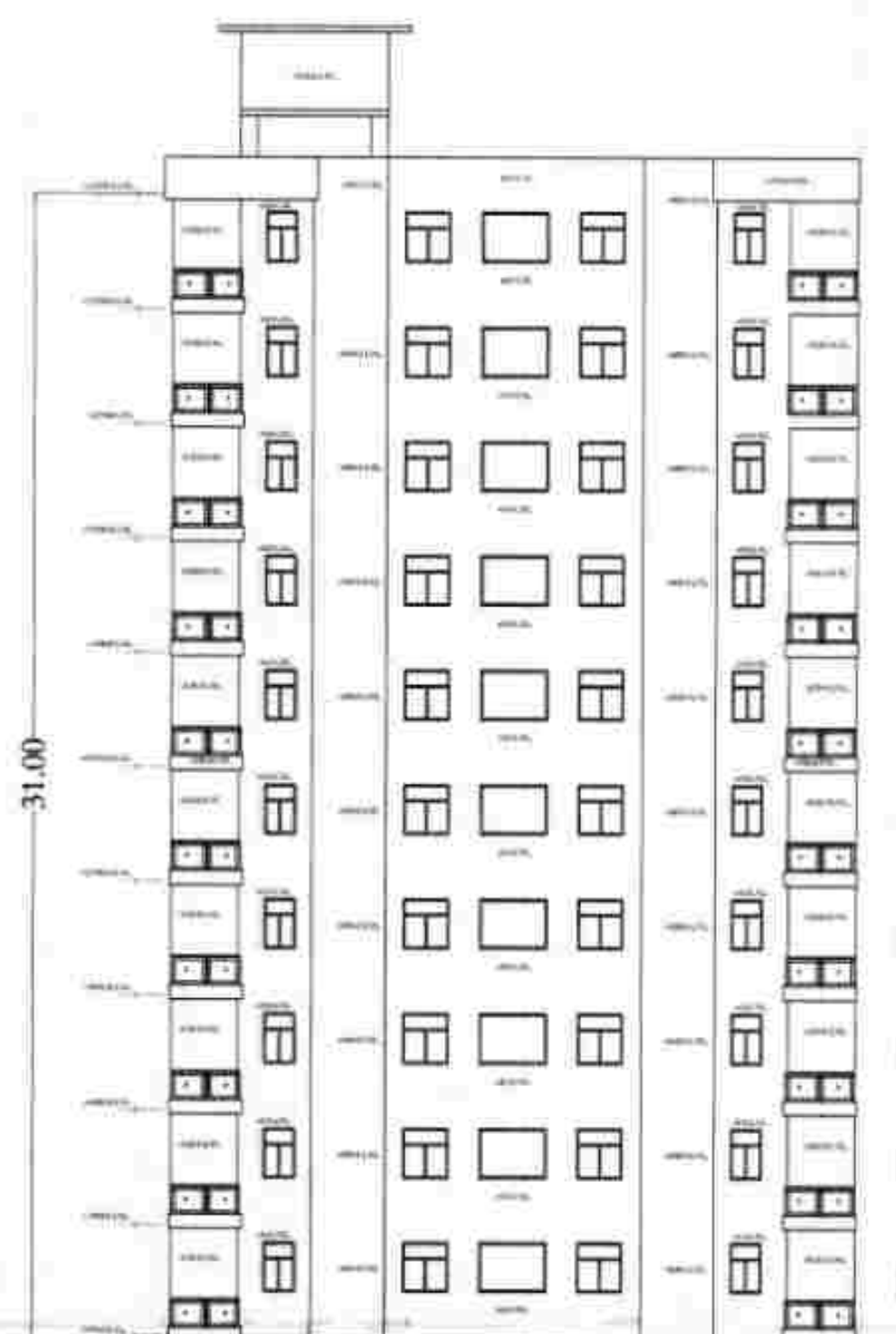
TERRACE FLOOR PLAN



ELEVATION-1



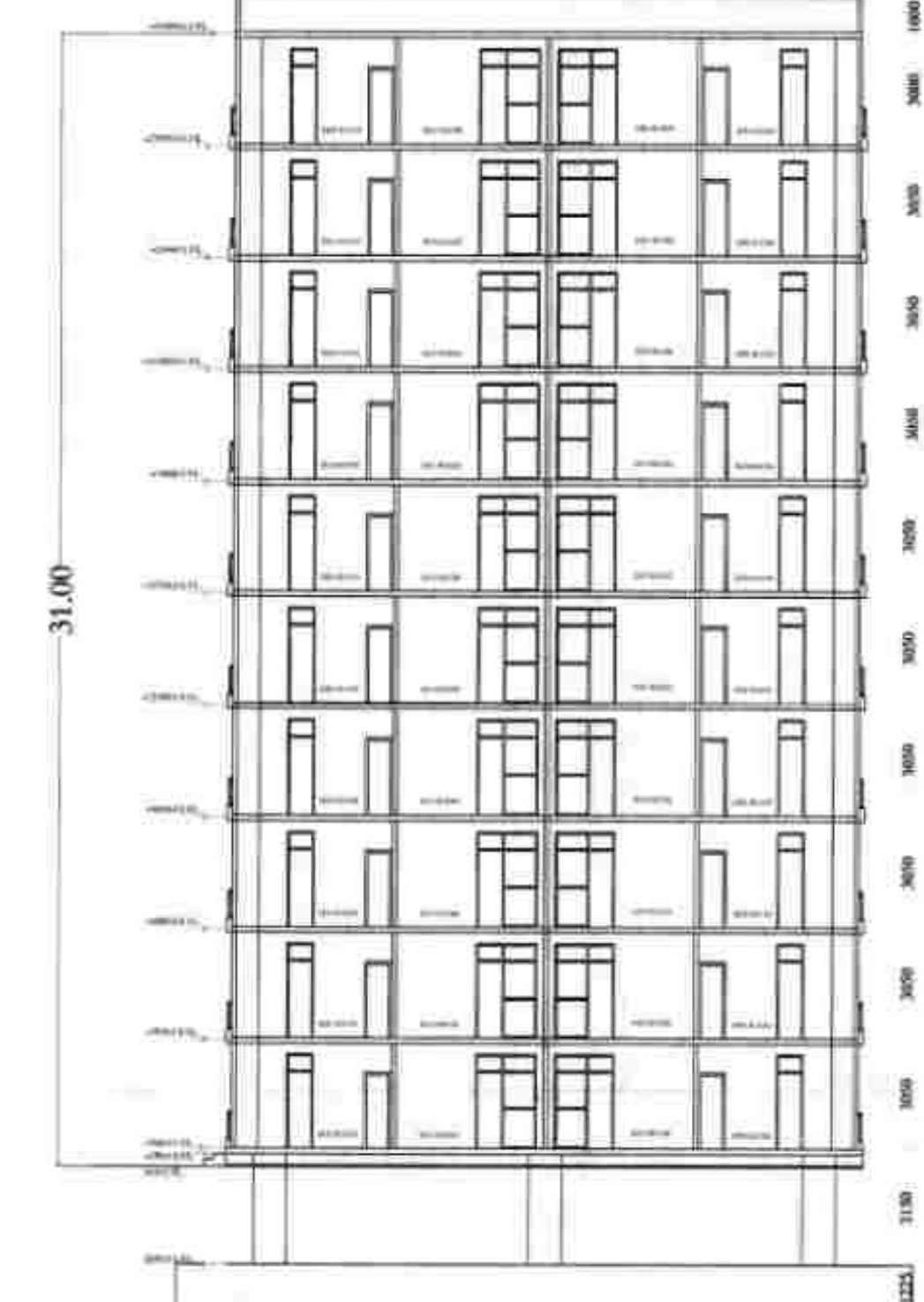
ELEVATION-2



ELEVATION-3



ELEVATION-4



SECTION AT X-X

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: -

ELEVATION & SECTION
DETAILS OF BLOCK
D-1,D-2,D-3

DRG NO:- 17



For Lords India (E) Pvt. Ltd.

SIG. OF APPLICANT

SCALE: 1:170



SIG. OF ARCHITECT



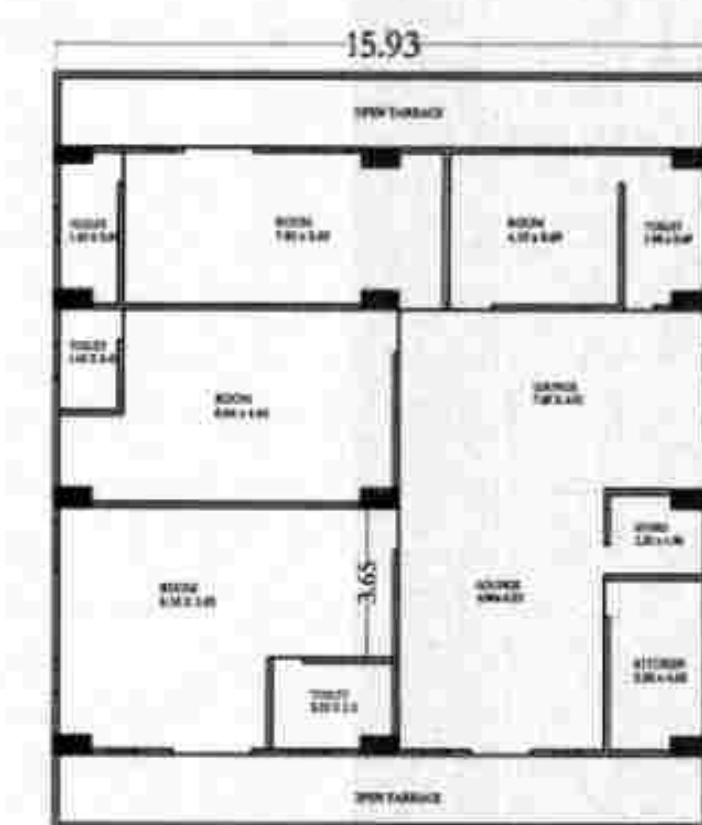
GROUND FLOOR PLAN



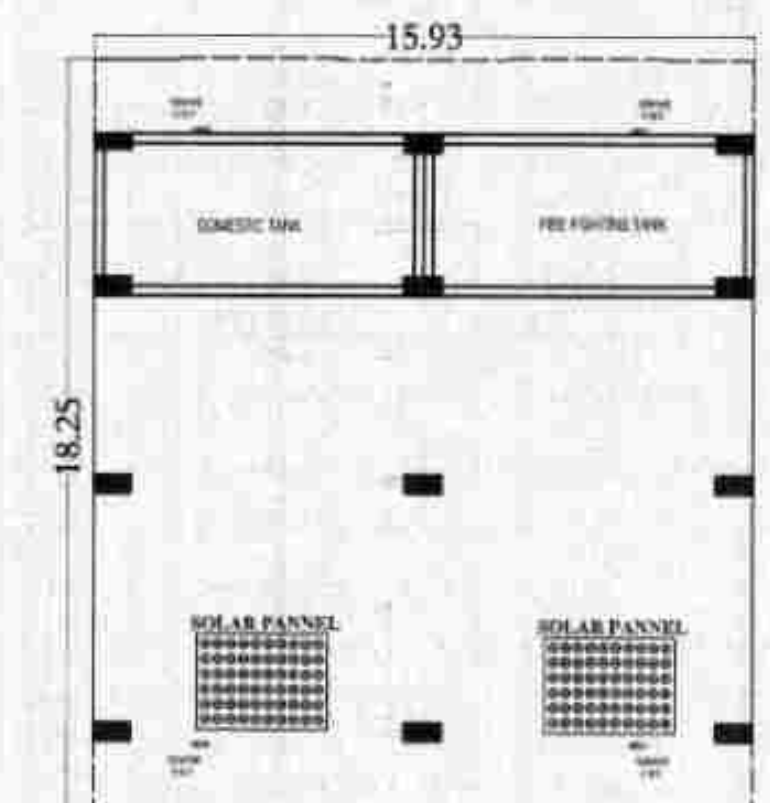
FIRST, SECOND & FOURTH TO NINTH FLOOR PLAN



THIRD FLOOR PLAN



TENTH FLOOR PLAN



TERRACE FLOOR PLAN

भवन निर्माण समिति की वेबसाइट
दिनांक 12/3/18

भवन निर्माण स्वीकृति से
पॉच वर्ष तक मान्य

सहायक नगर नियोजक
नगर विकास ब्यूरो, अलवर

उप नगर नियोजक
नगर विकास ब्यूरो, अलवर

अधिसूची अभियन्ता
नगर विकास ब्यूरो, अलवर

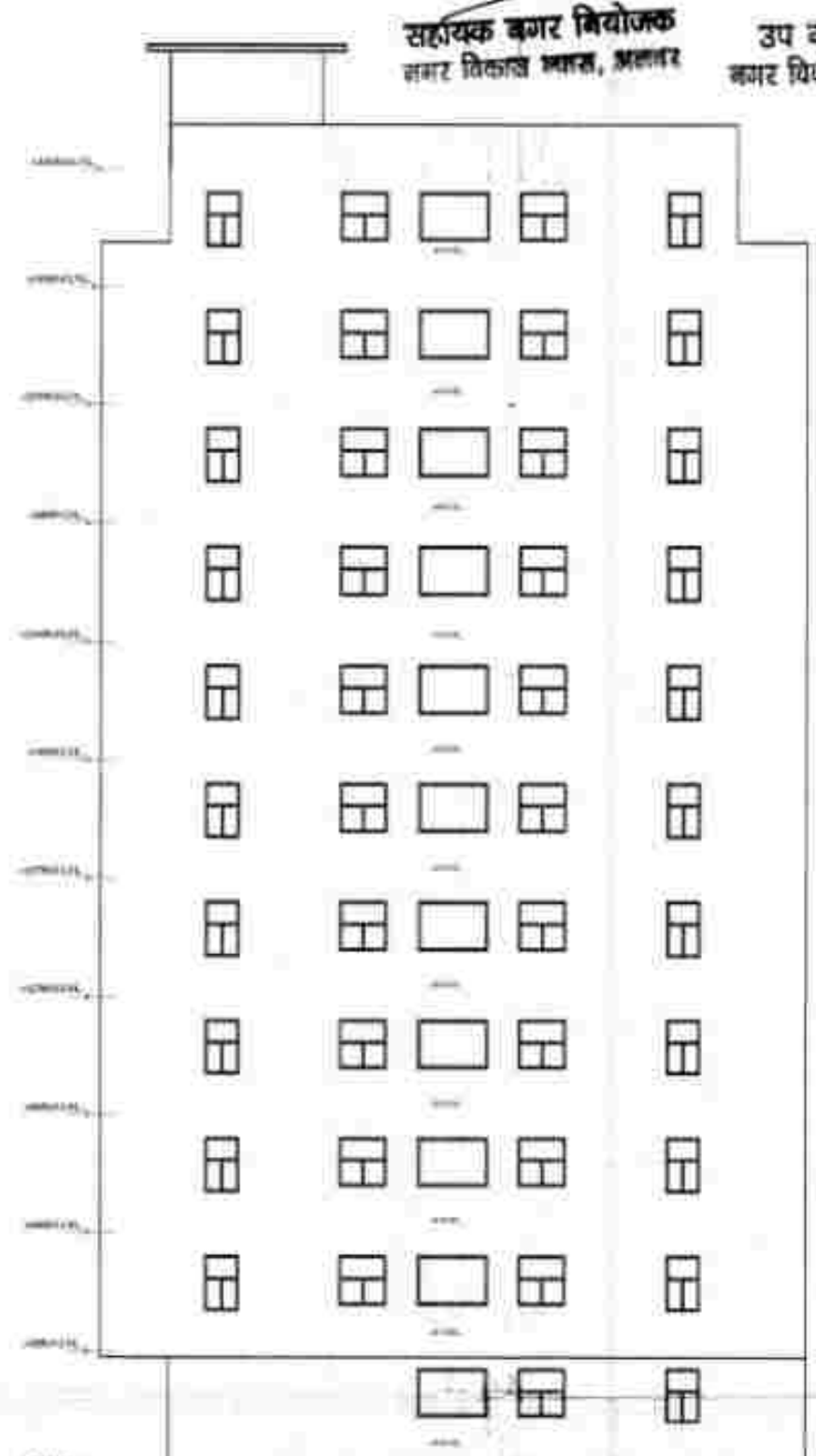
सचिव
नगर विकास ब्यूरो, अलवर



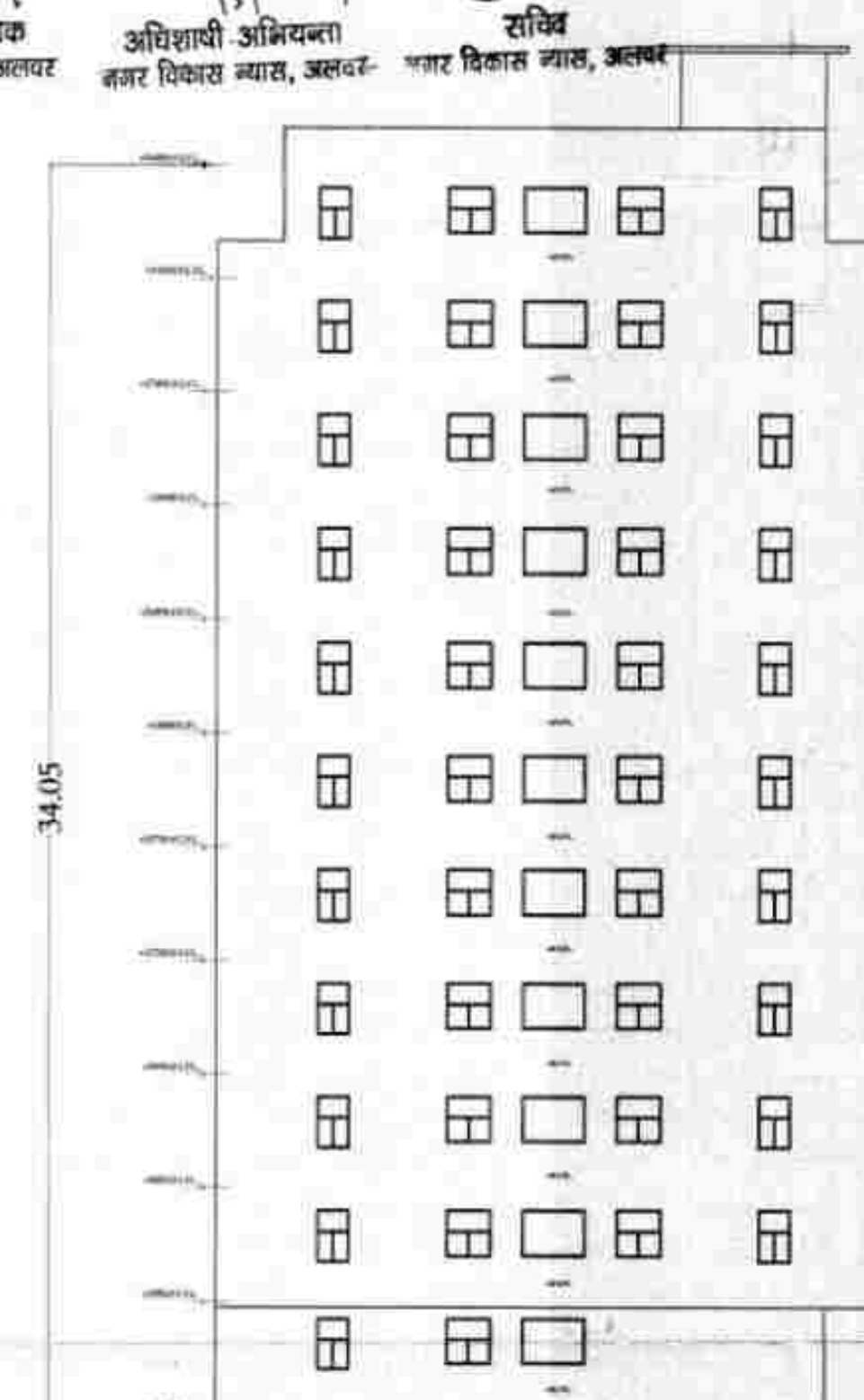
ELEVATION-1



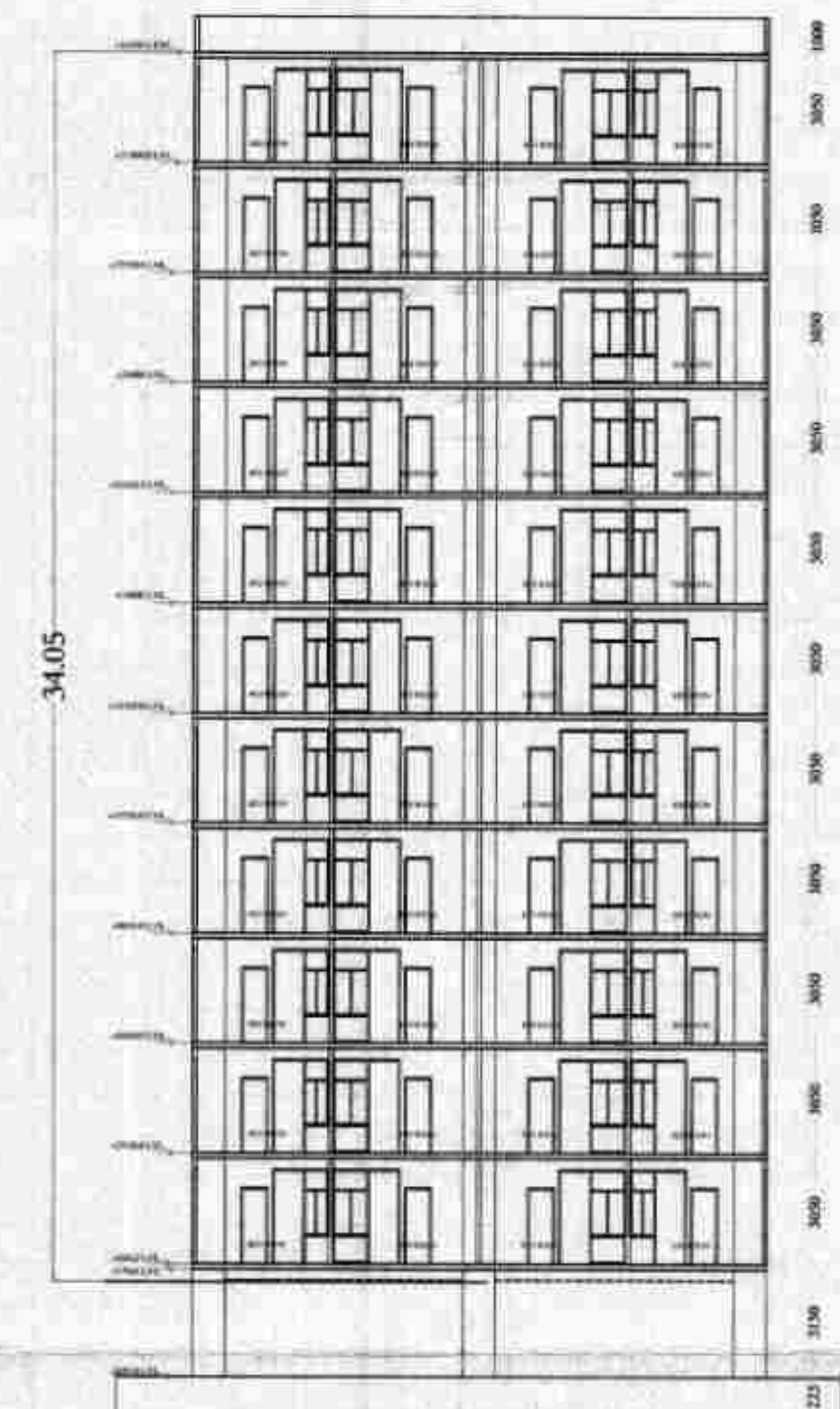
ELEVATION-2



ELEVATION-3



ELEVATION-4



SECTION AT X-X

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.: -9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE :-

ELEVATION & SECTION
DETAILS OF BLOCK D-5

DRG NO:- 18



SCALE: 1:170

For Lords India (E) Pvt. Ltd.

Director

SIG. OF APPLICANT

ARCHITECT



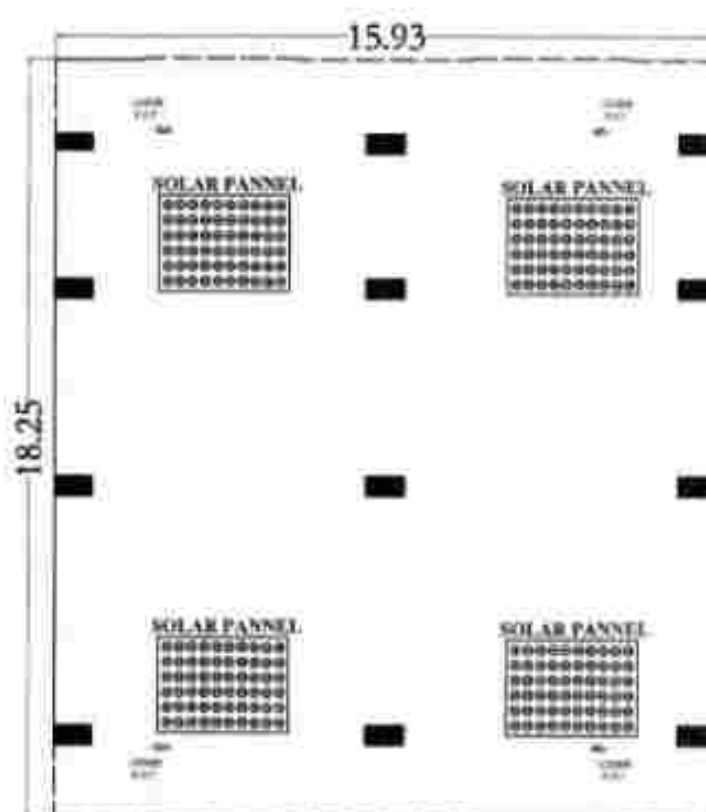
SIG. OF ARCHITECT



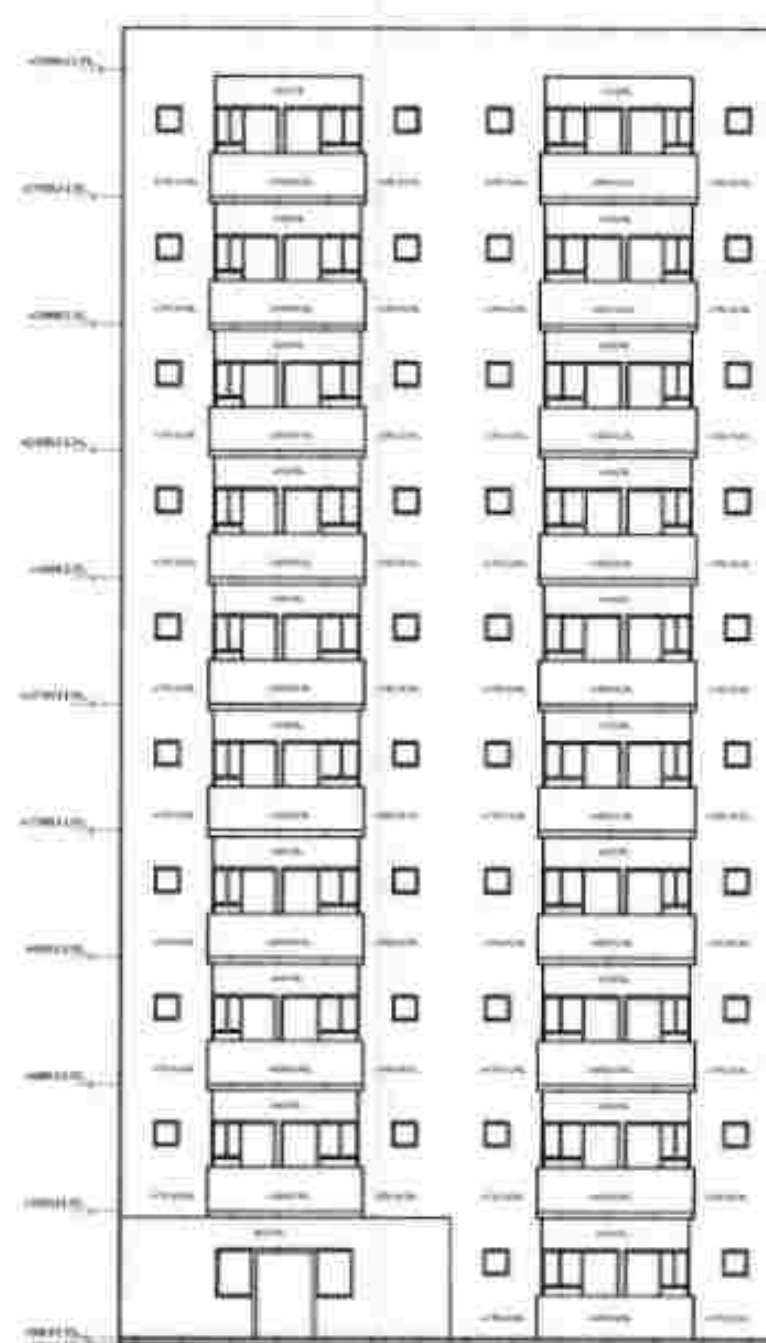
GROUND FLOOR PLAN



FIRST TO NINTH FLOOR PLAN



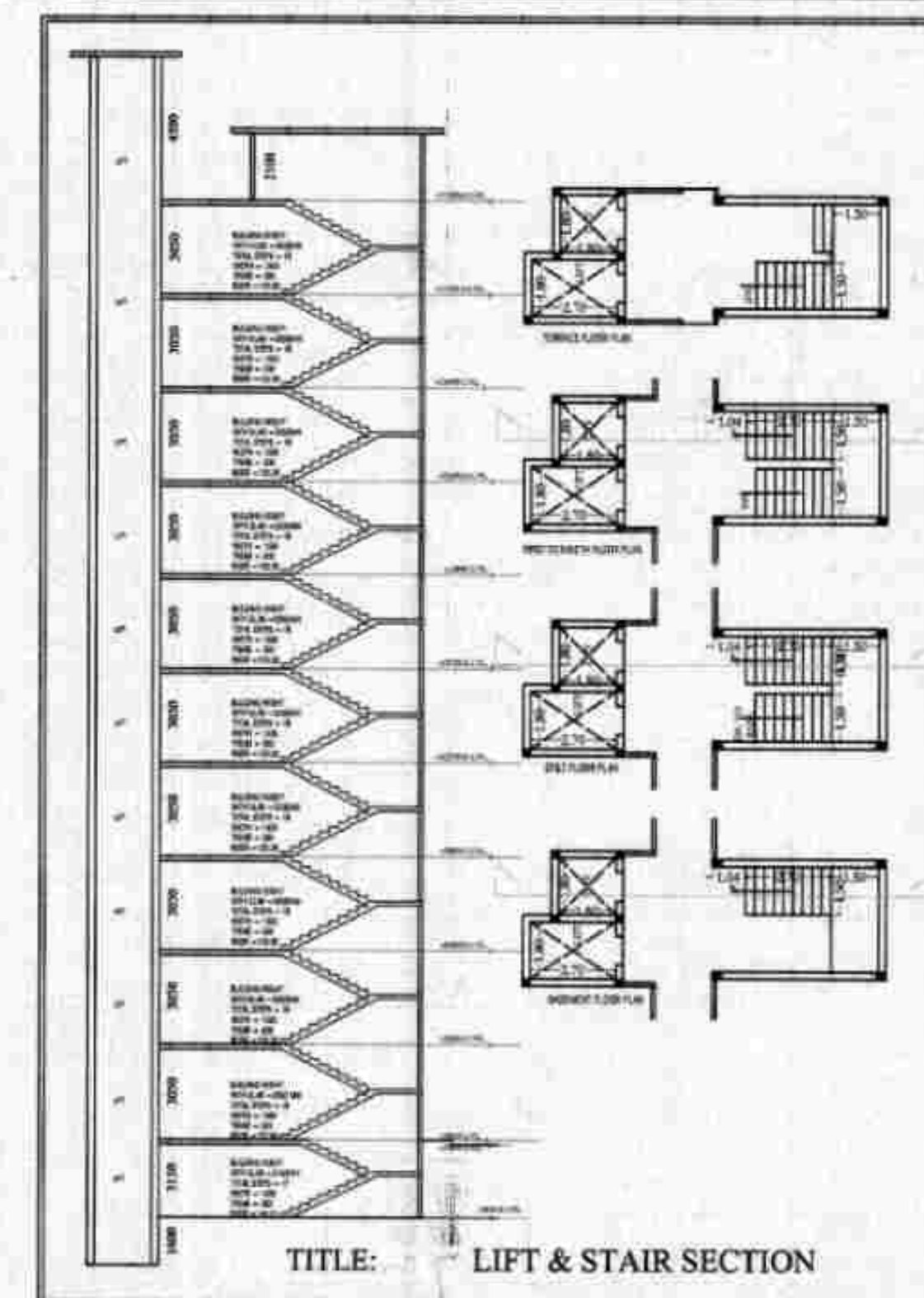
TERRACE FLOOR PLAN



ELEVATION-1



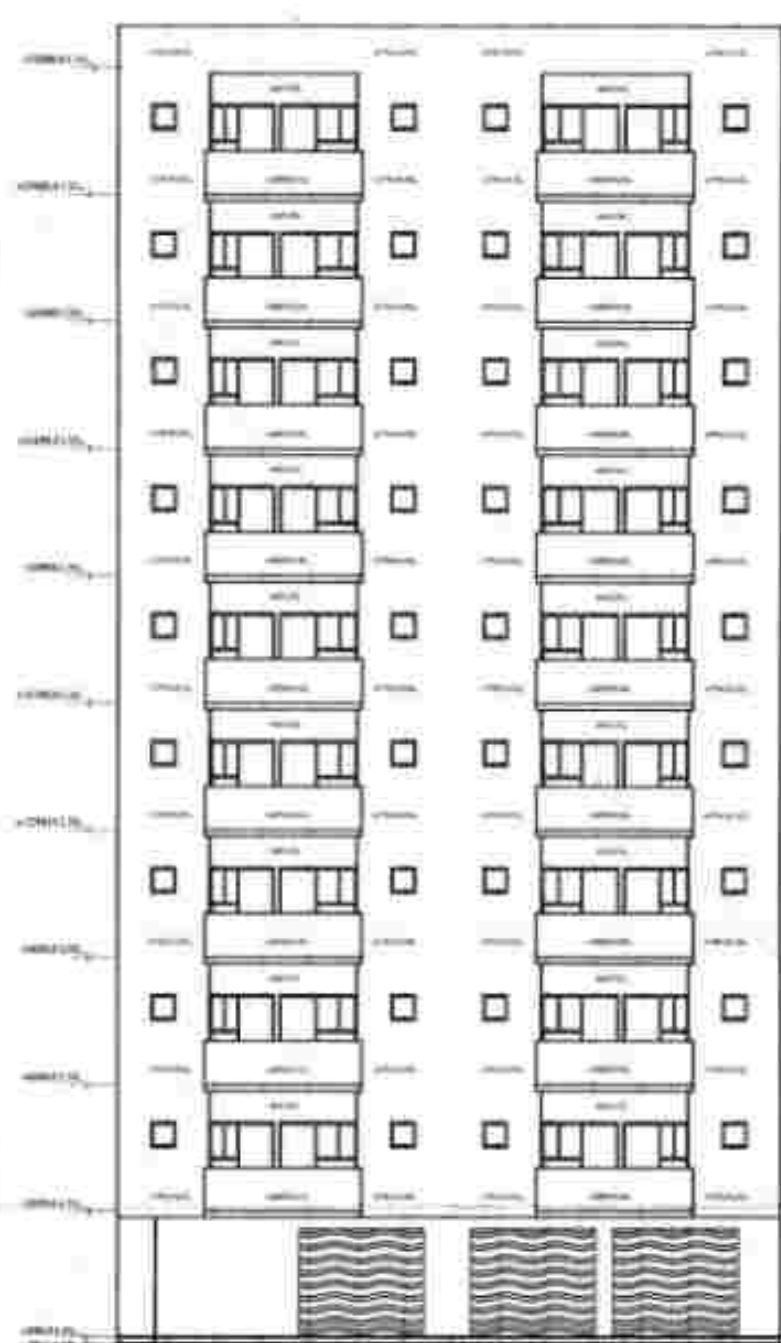
SECTION AT X-X



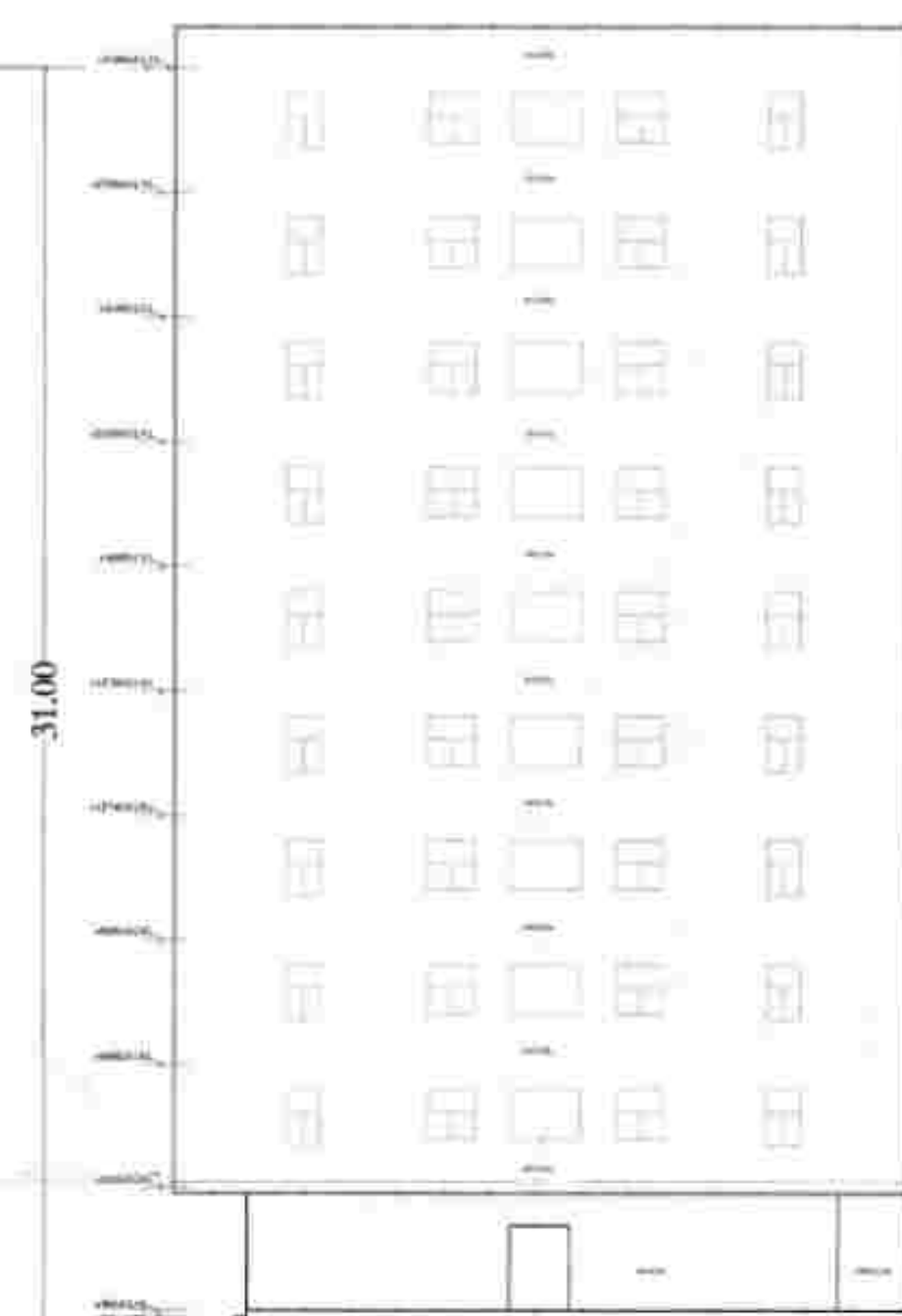
TITLE: LIFT & STAIR SECTION

भवन निर्माण समिति की बैठक
दिनांक 12/12/18

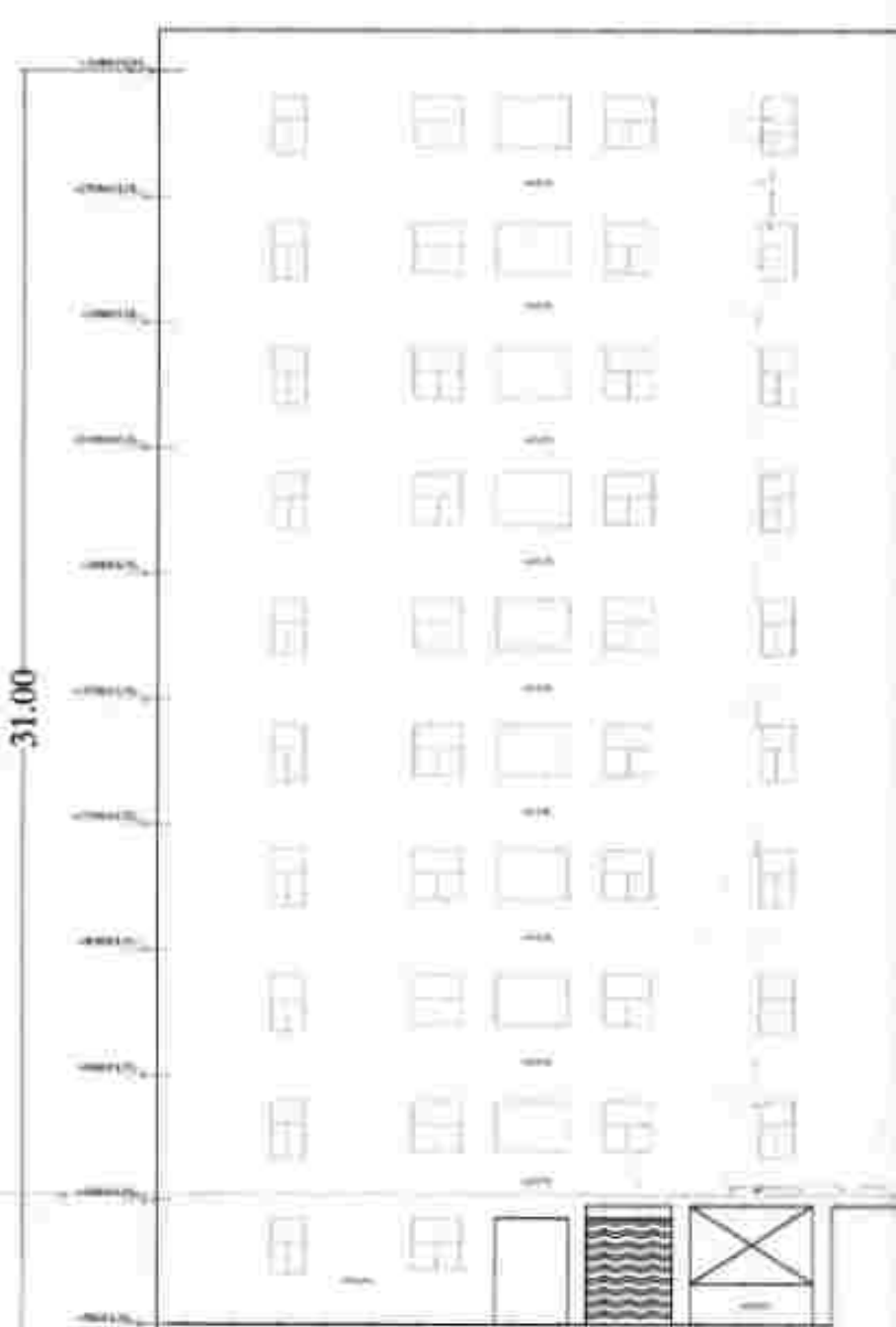
भवन निर्माण स्वीकृति से
गैर हर्ष तक मन्जूर



ELEVATION-2

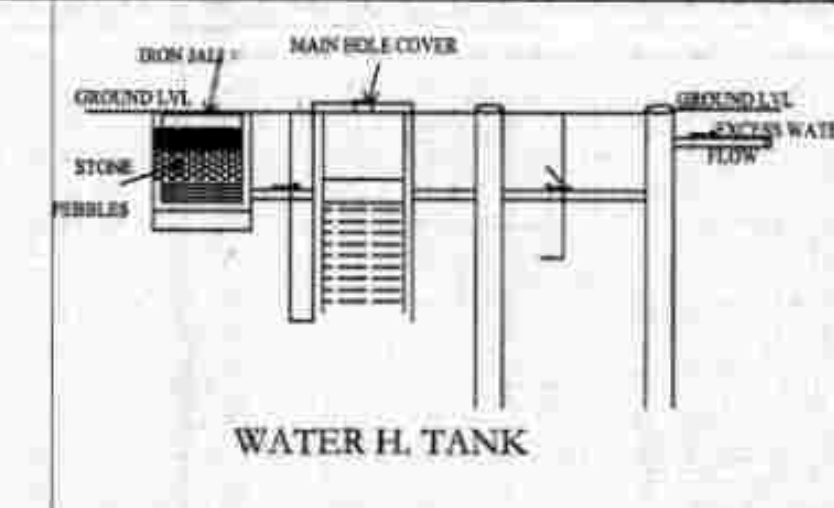


ELEVATION-3

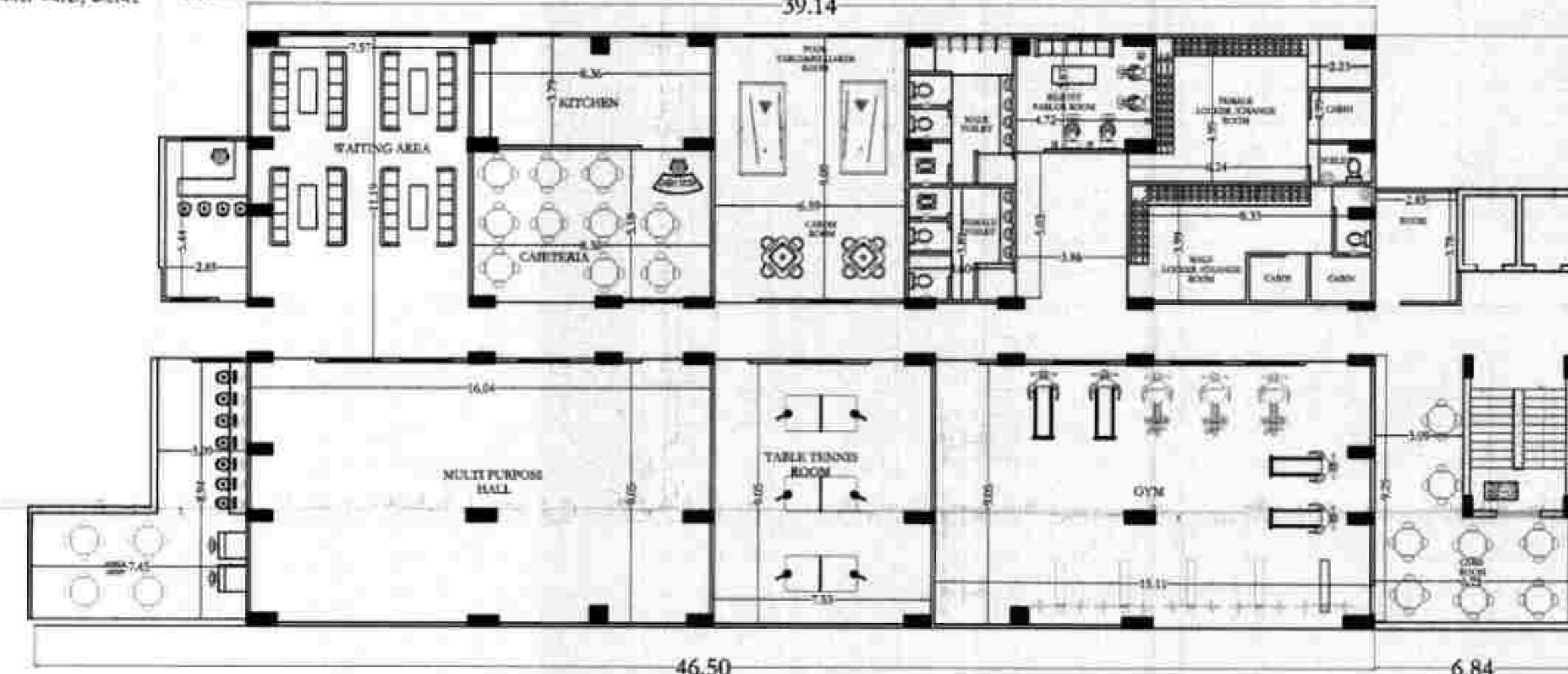


ELEVATION-4

स्वीकृत
उप नगर नियोजक
नगर विकास ब्यूरो, अलवर
अधिसूची अभियन्ता
नगर विकास ब्यूरो, अलवर
सचिव
नगर विकास ब्यूरो, अलवर
39.14



WATER H. TANK



CLUB HOUSE PLAN

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: -
ELEVATION & SECTION
DETAILS OF BLOCK D-6,
WATER HARVESTING SYSTEM
LIFT & STAIR CASE CLUB HOUSE

DRG NO:- 19



1 of Lords India (E) Pvt. Ltd.

Director

SIG. OF APPLICANT

SCALE: 1:170

ARCHITECT

C.A. CA/2004/32744
ALWAR

SIG. OF ARCHITECT

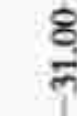
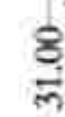


ELEVATION-2 भवन निर्माण समिति की बैठक
दिनांक 12/12/18

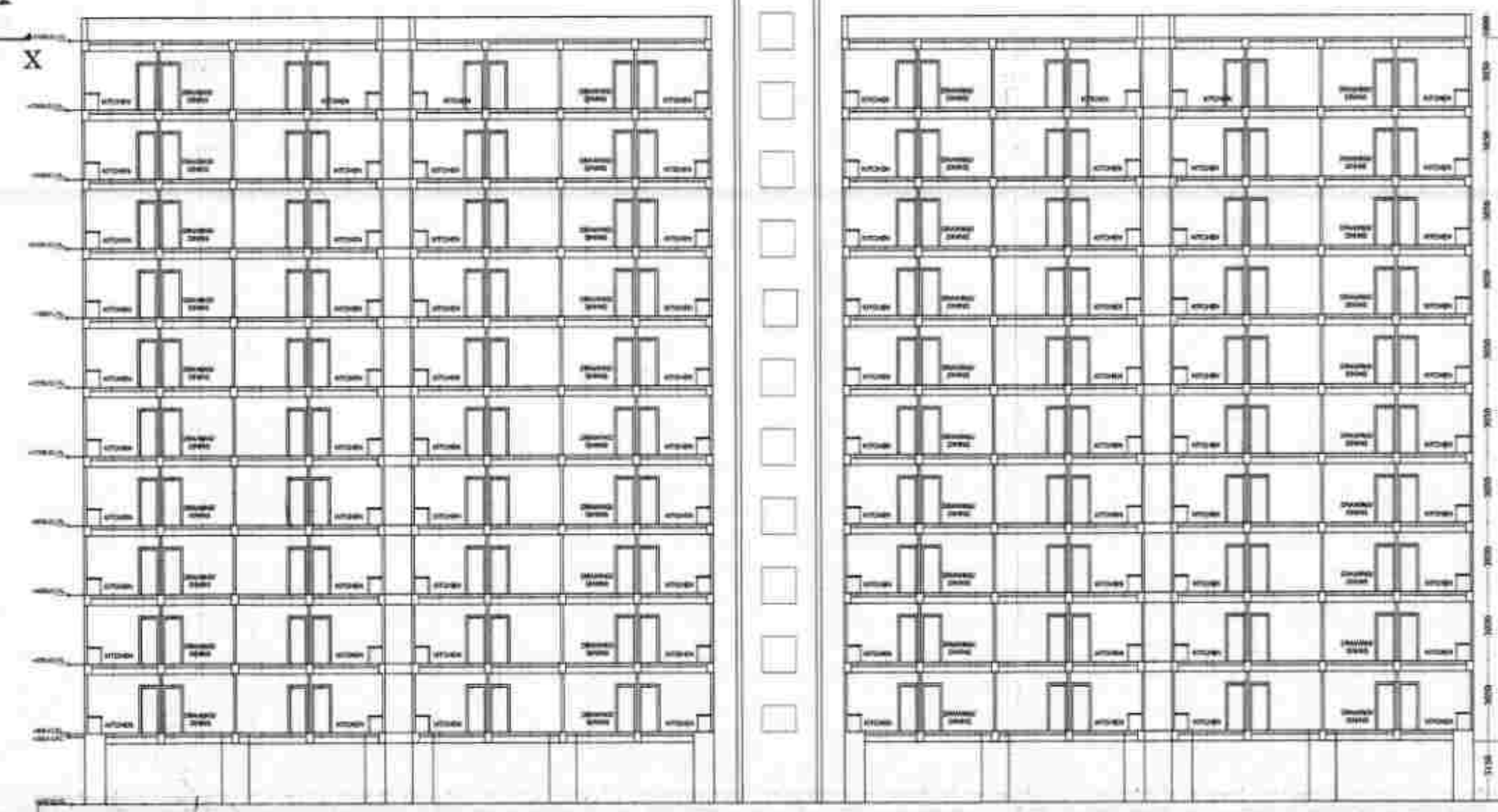
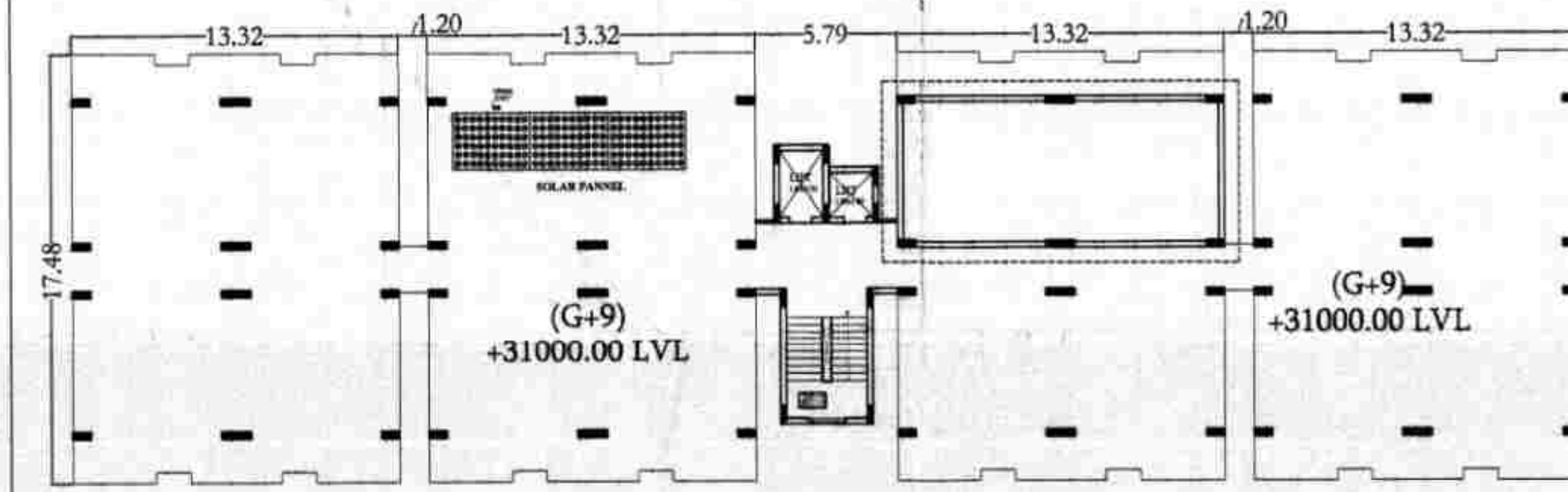
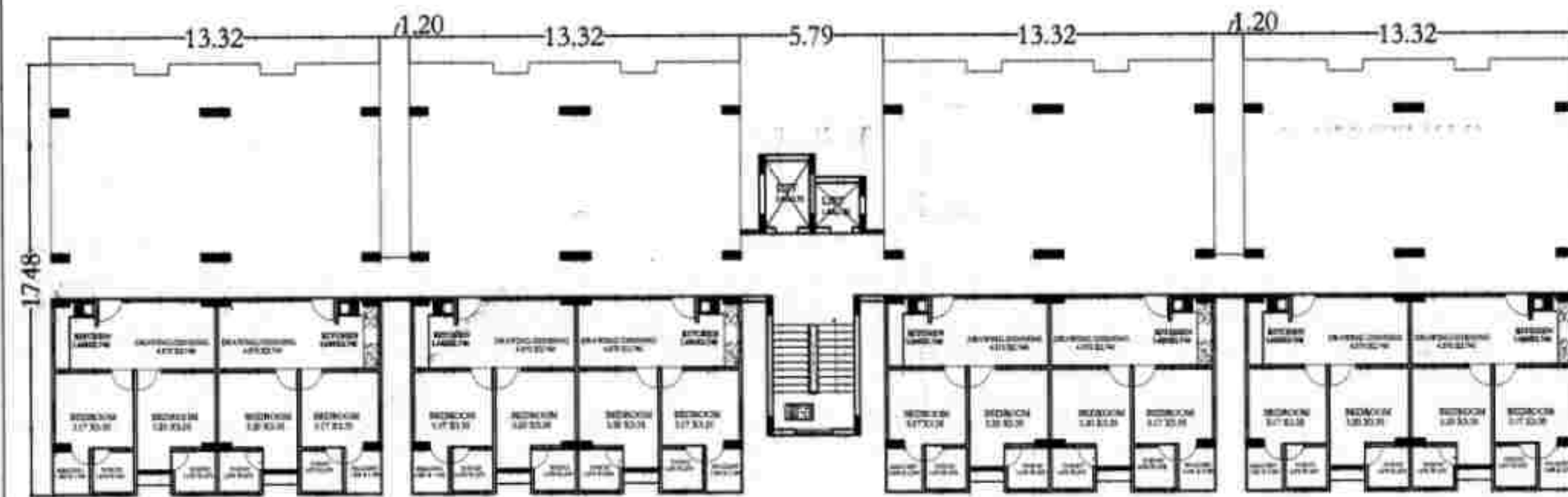


BLOCK-C1

 (G+9)
 +31000.00 LVL



Delivered
COA
CN2004
32744
ALWAR

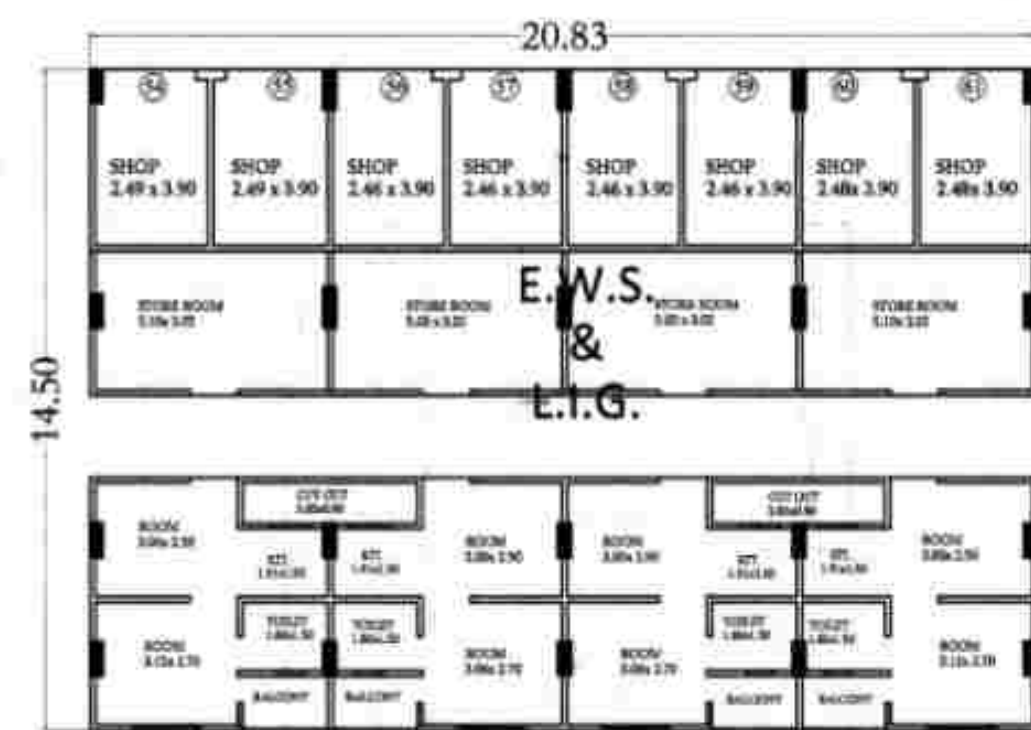


PROJECT:-
RESIDENTIAL APARTMENT
 GROUP HOUSING AT
 KHASRA NO.:-9,12,13,14,18,19,65
 VILLAGE :- MANNAKA TAH. -ALWAR

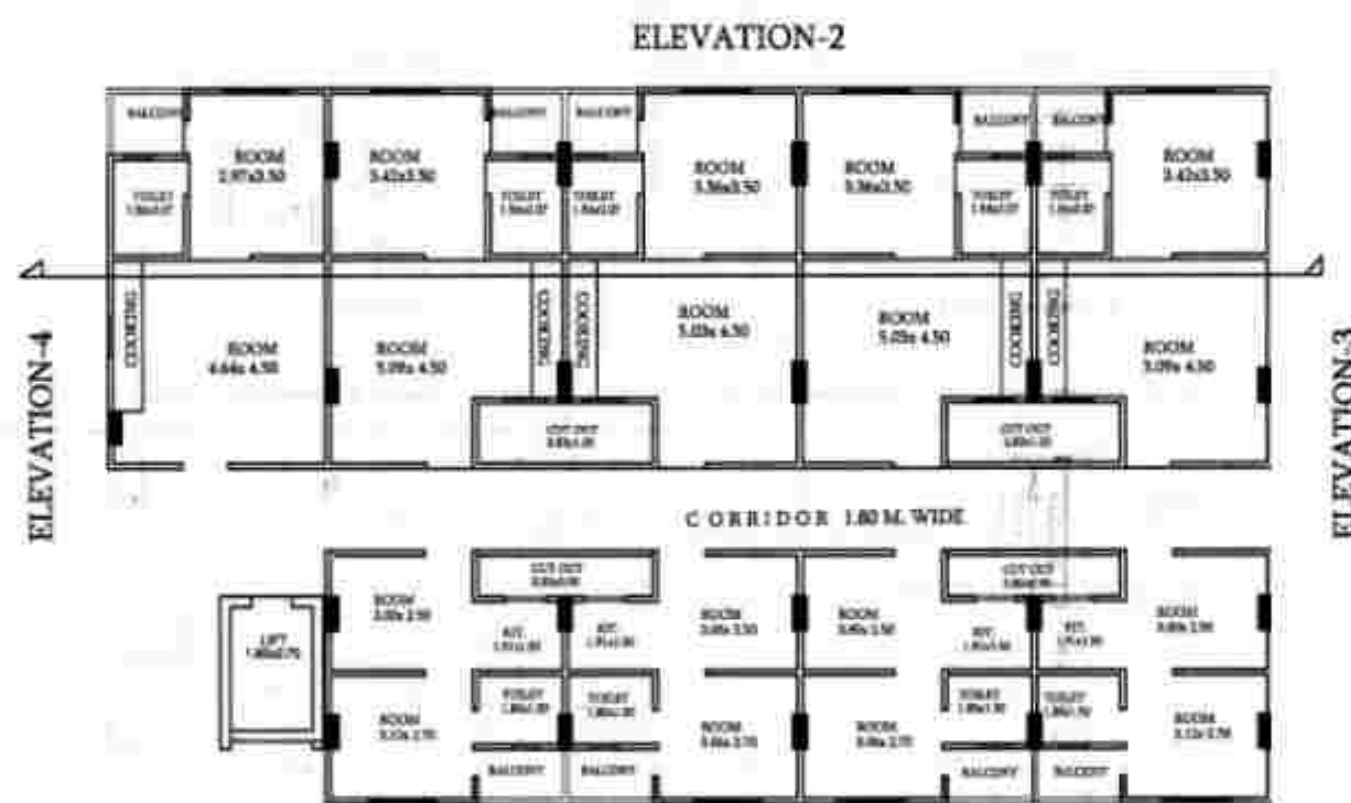
OWNER :-
MR. MANOJ CHACHAN
 LOADS INDIA
 ENTERTAINMENT (P) LTD.

TITLE: -
ELEVATION & SECTION
DETAILS OF BLOCK
E-1,E-2,E-3,E-4 & E-5
DRG NO:- 21

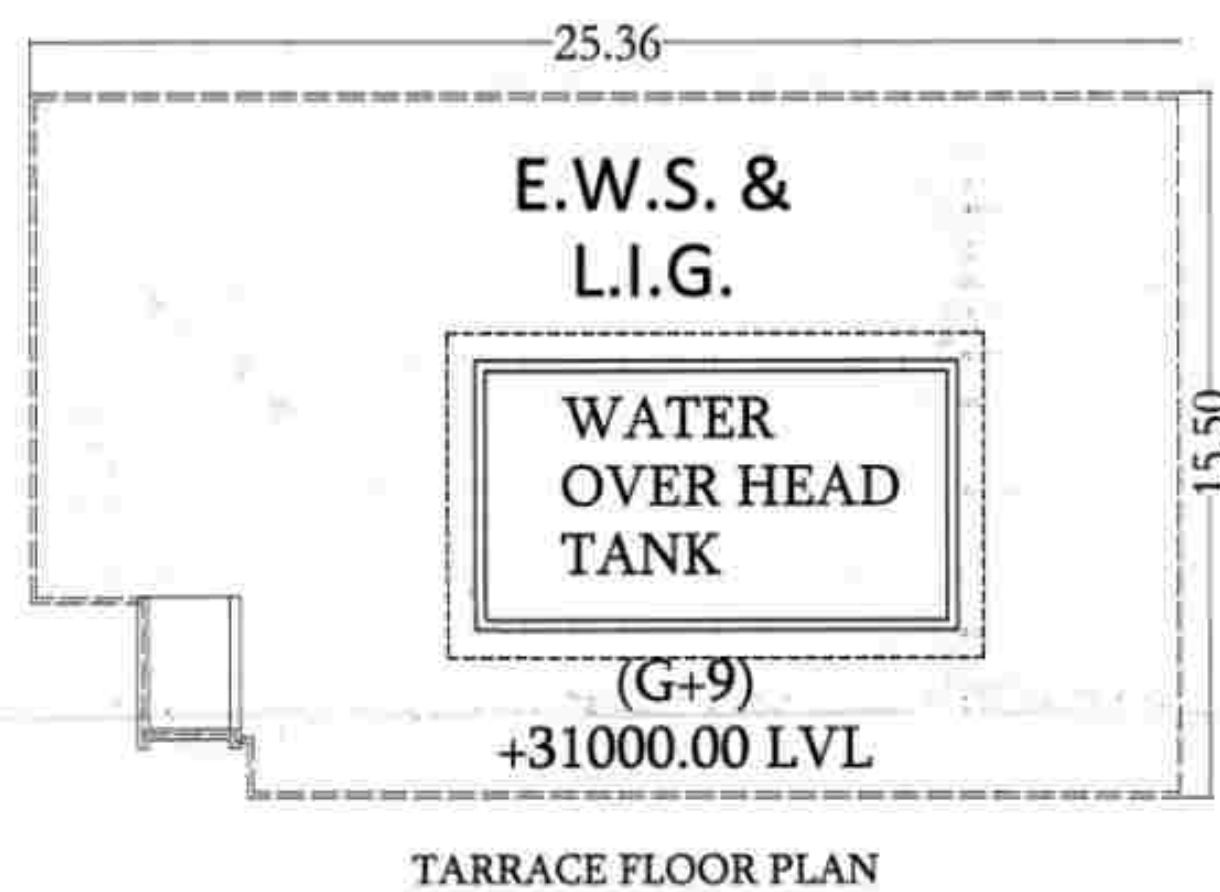
SCALE: 1:200
ARCHITECT
 For Lords India (E) Pvt. Ltd.
 Director
 SIG. OF APPLICANT
 SIG. OF ARCHITECT



GROUND FLOOR PLAN



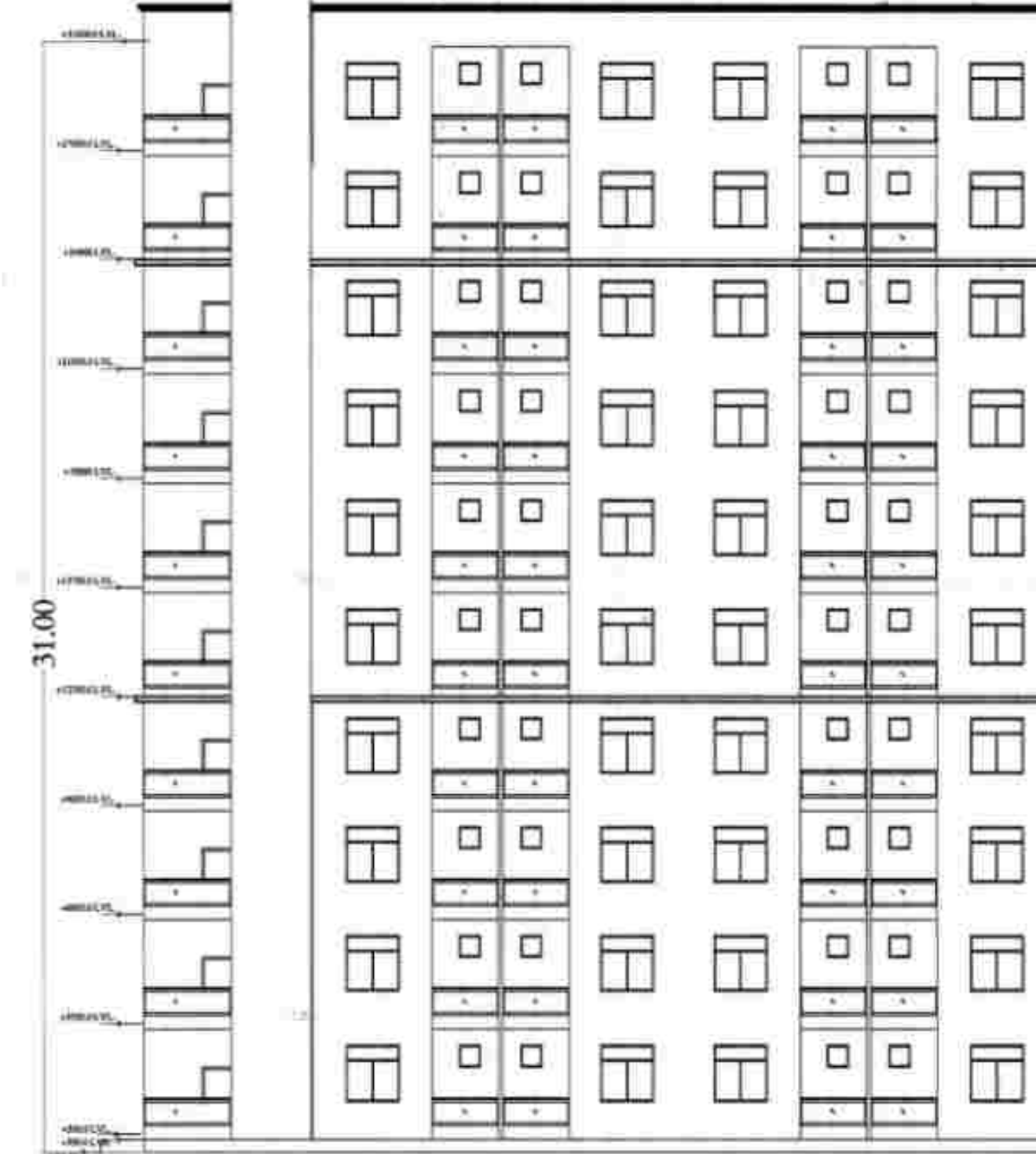
FIRST FLOOR TO NINTH FLOOR PLAN



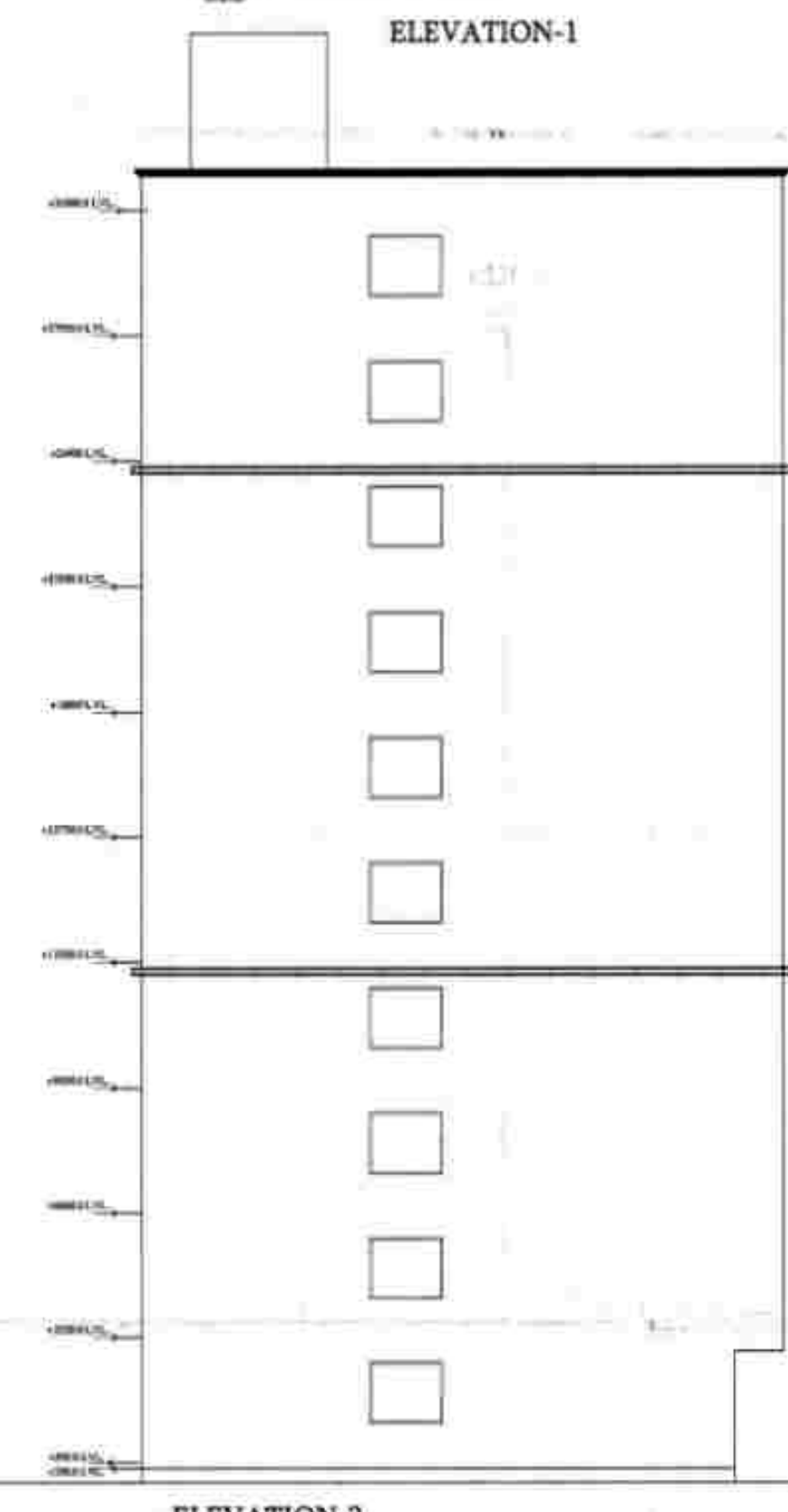
TARRACE FLOOR PLAN

भवन निर्माण समिति की बैठक
दिनांक 12/12/18

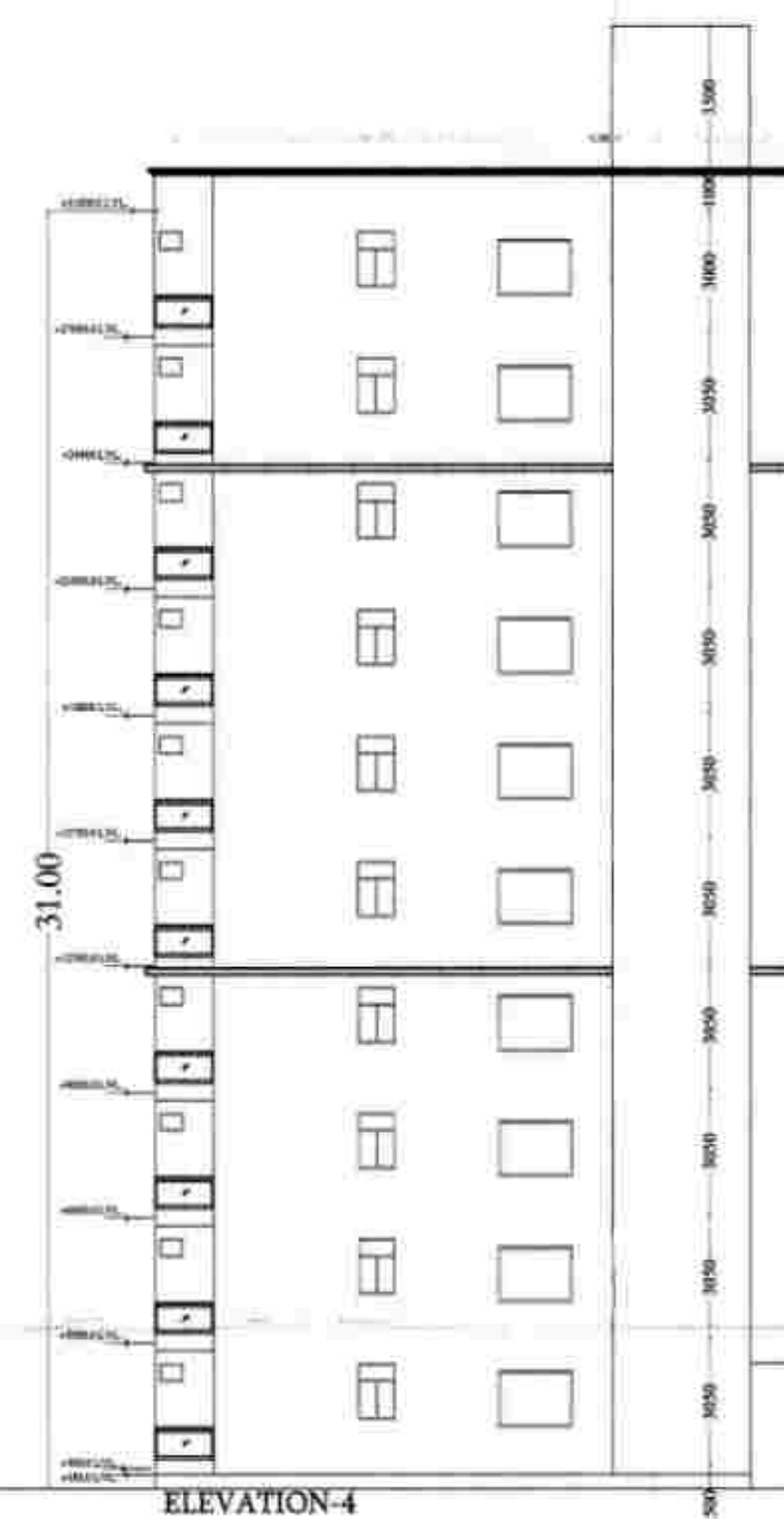
भवन निर्माण स्वीकृति से
पंच वर्ष तक मान्य



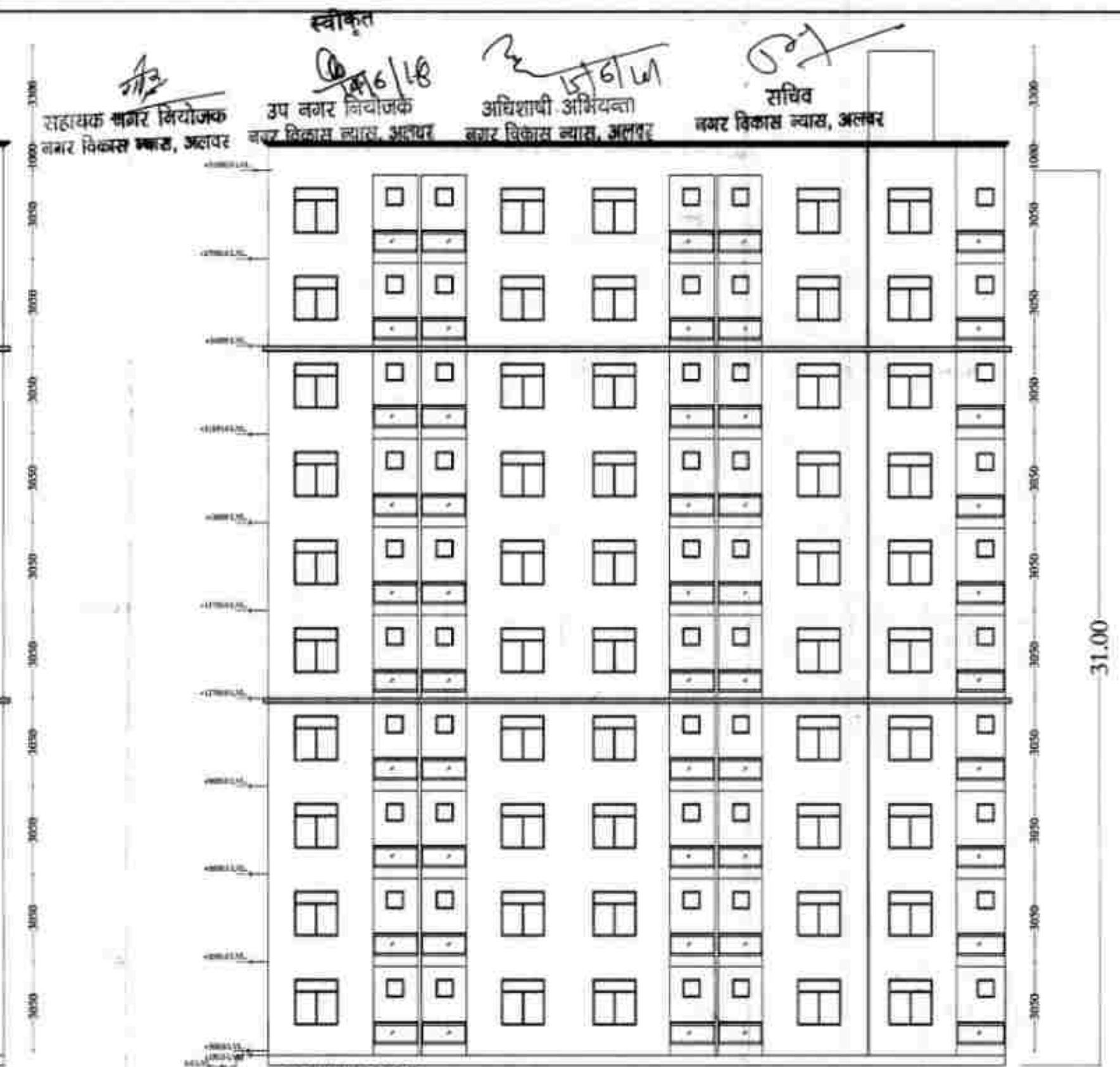
ELEVATION-1



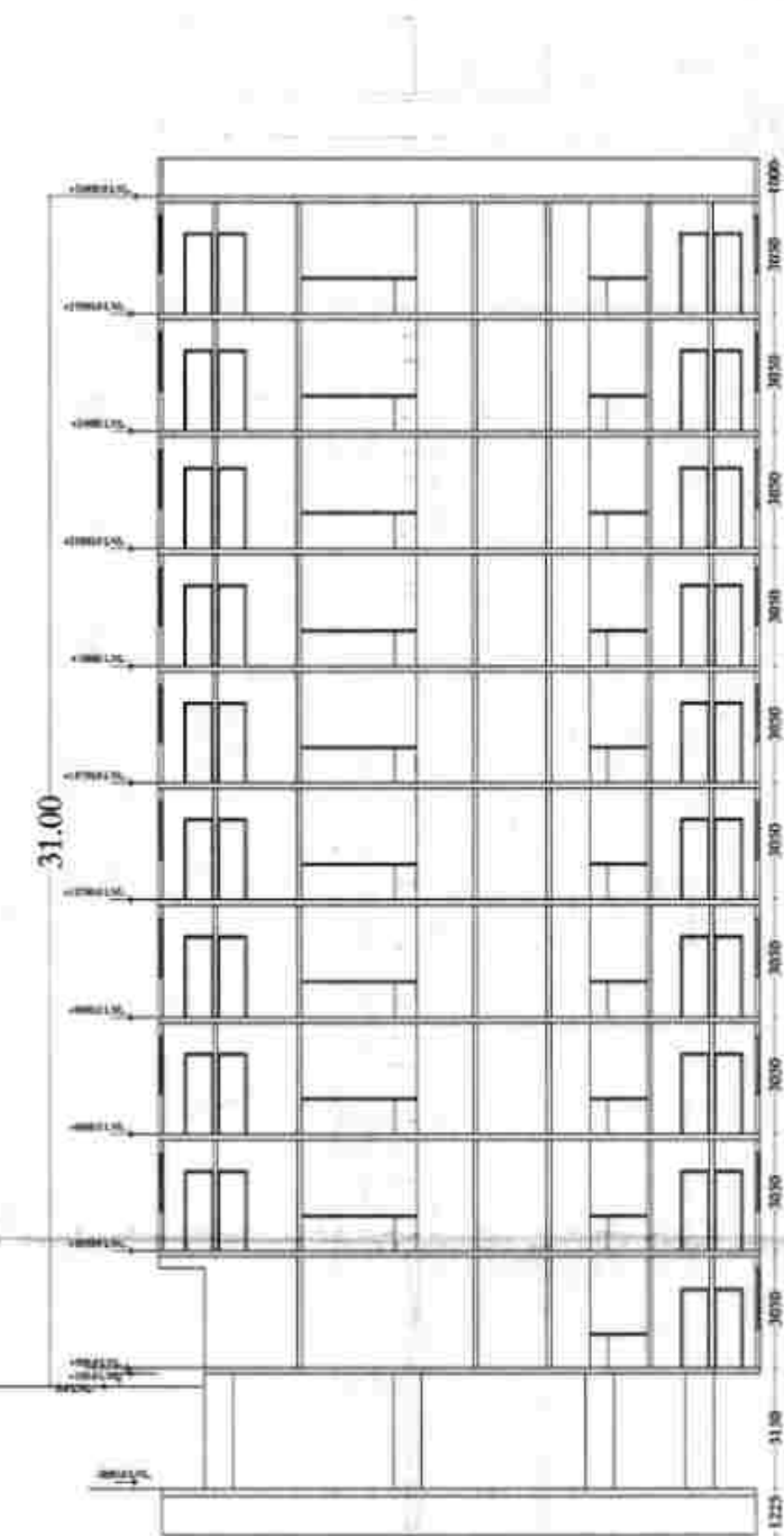
ELEVATION-3



ELEVATION-4



ELEVATION-2



SECTION AT Y-Y

PROJECT:-

RESIDENTIAL APARTMENT
GROUP HOUSING AT
KHASRA NO.:-9,12,13,14,18,19,65
VILLAGE :- MANNAKA TAH. -ALWAR

OWNER :-

MR. MANOJ CHACHAN
LOADS INDIA
ENTERTAINMENT (P) LTD.

TITLE: -

ELEVATION & SECTION
DETAILS OF
BLOCK :- EWS & LIG

DRG NO:- 22



SCALE: 1:170

ARCHITECT

For Lords India (E) Pvt. Ltd.
Director
SIG. OF APPLICANT

